

Isle Of Dreams

1400 79th Street Causeway
North Bay Village, FL 33141

SHORELINE SUBMITTAL

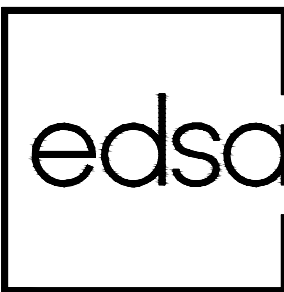
MAY 30, 2025

PREPARED FOR:

ARQUITECTONICA



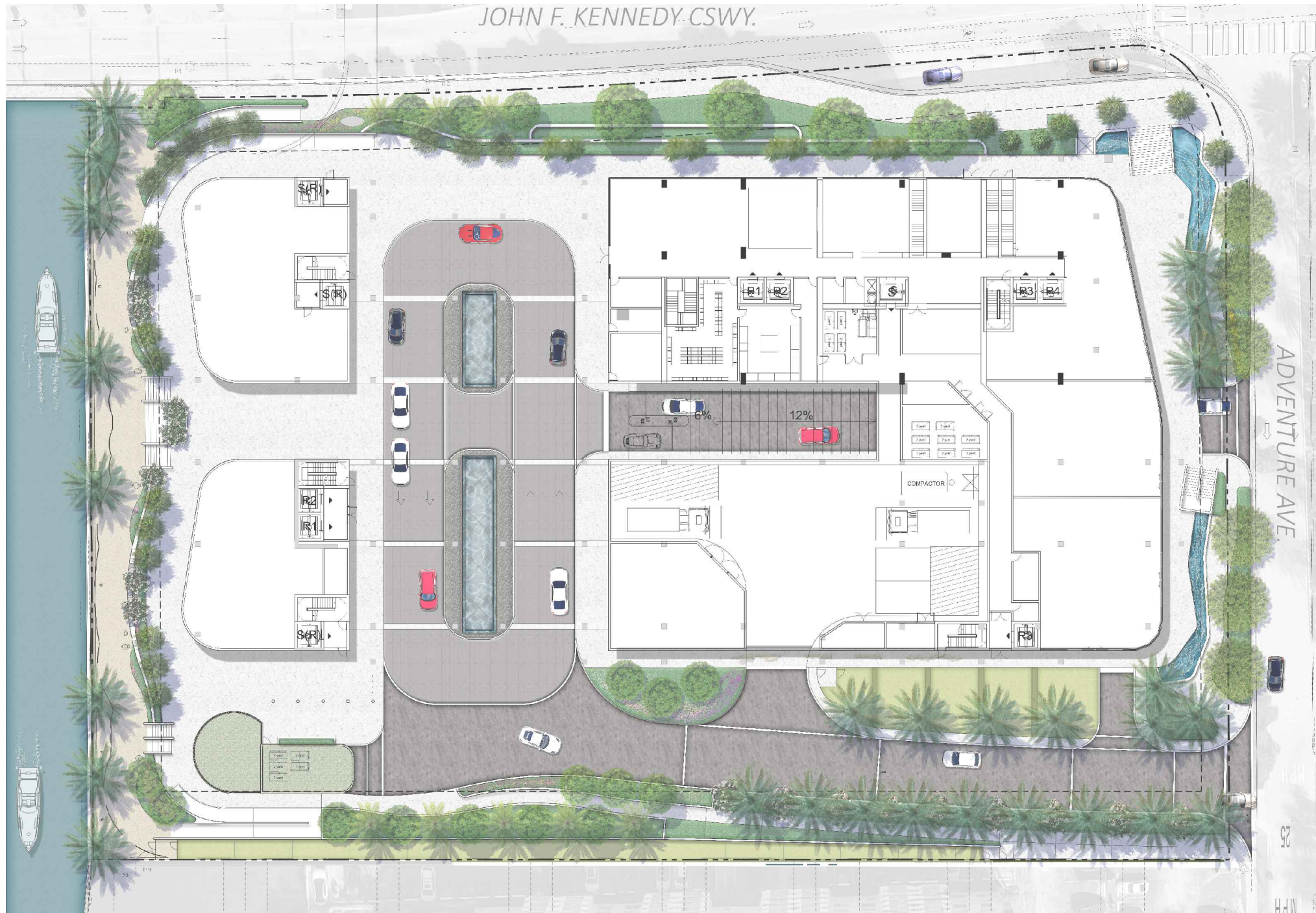
CONSULTANTS



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330 | LCC000001





GROUND LEVEL RENDER



LOCATION MAP

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Project Name

ISLE OF DREAMS

Client

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URBAN DESIGN
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Consultants:

Key Plan

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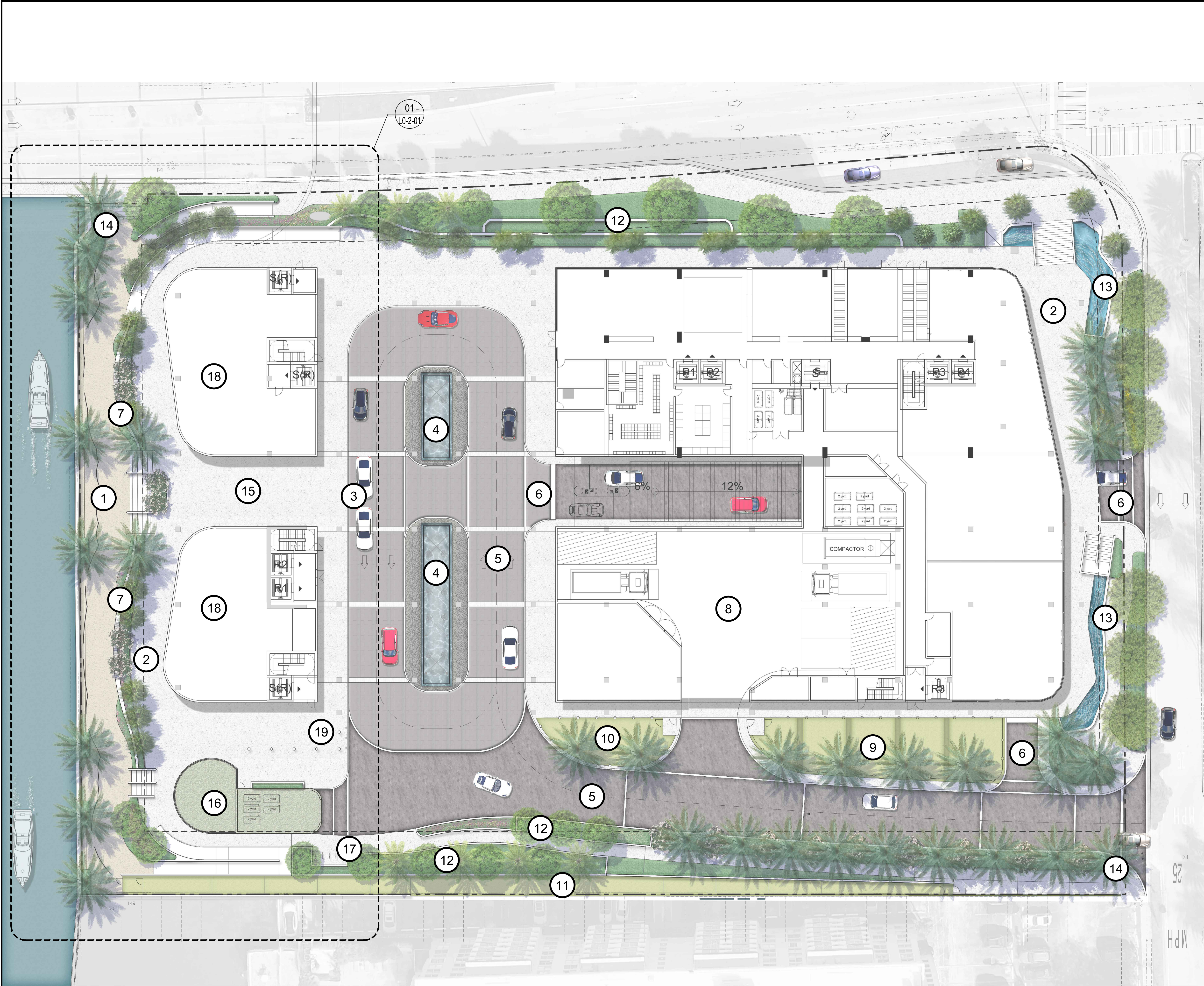
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Designed By	MH, LDC
Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000



Project Phase
SHORELINE SUBMITTAL

Sheet Title
SITE CONTEXT & INDEX

Sheet Number
L0-0-01



LEGEND

SYMBOL	DESCRIPTION
1	WALKWAY BAY WALK
2	PEDESTRIAN PROMENADE
3	ARRIVAL / DROP-OFF
4	LINEAR WATER FEATURE
5	INTERNAL DRIVE
6	GARAGE ENTRANCE
7	PLANTER WITH SEATWALL
8	SERVICE
9	LARGE BREED DOG PARK
10	SMALL BREED DOG PARK
11	DOG RUN
12	TIERED LANDSCAPE PLANTERS
13	FOCAL WATER FEATURE
14	ISLAND WALK SIGNAGE
15	PASEO
16	CAFE (W/ GREEN ROOF)
17	BIKE RACKS
18	RESTAURANTS
19	SAFETY BOLLARDS

N.T.S.

NORTH

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

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edsa

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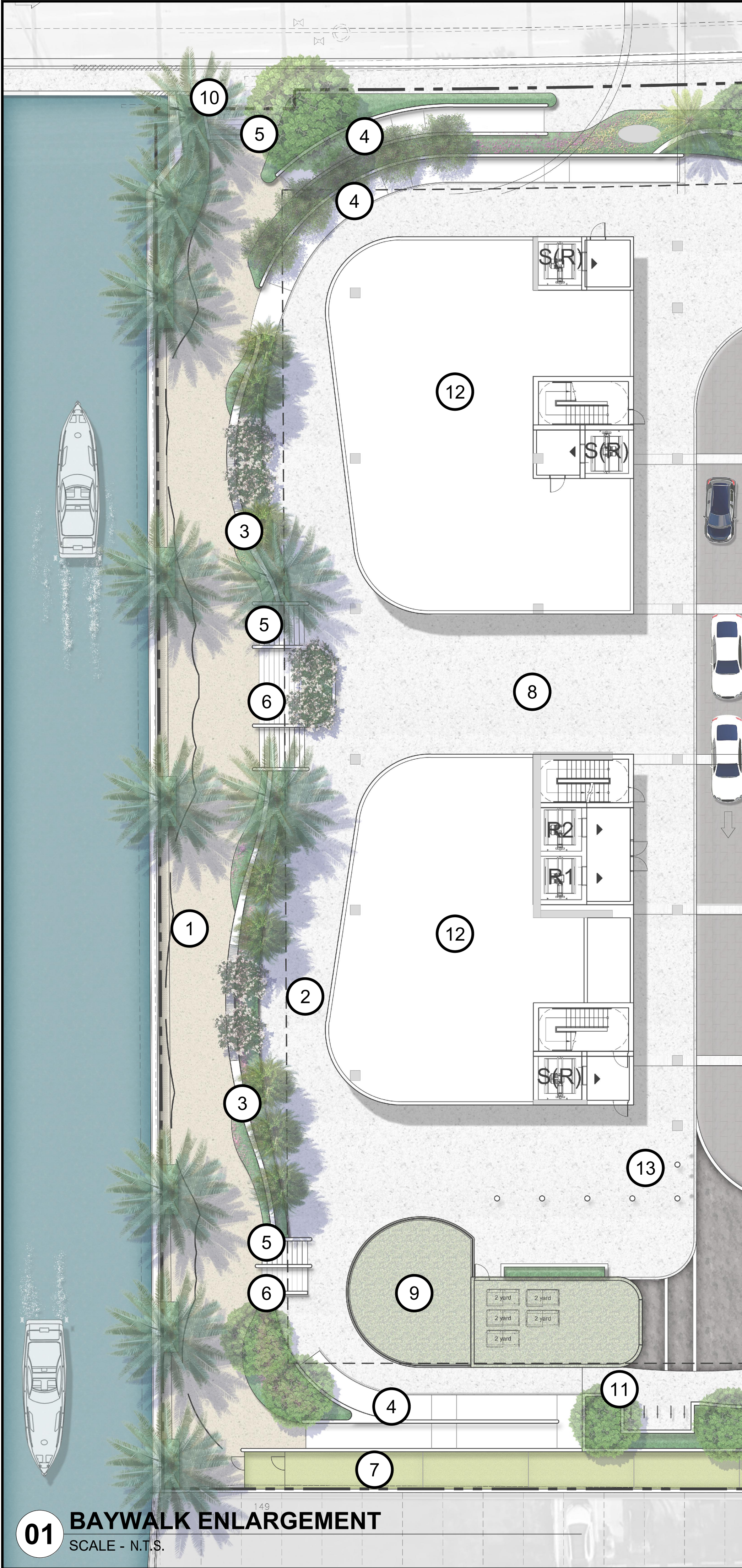
SHORELINE SUBMITTAL

Sheet Title

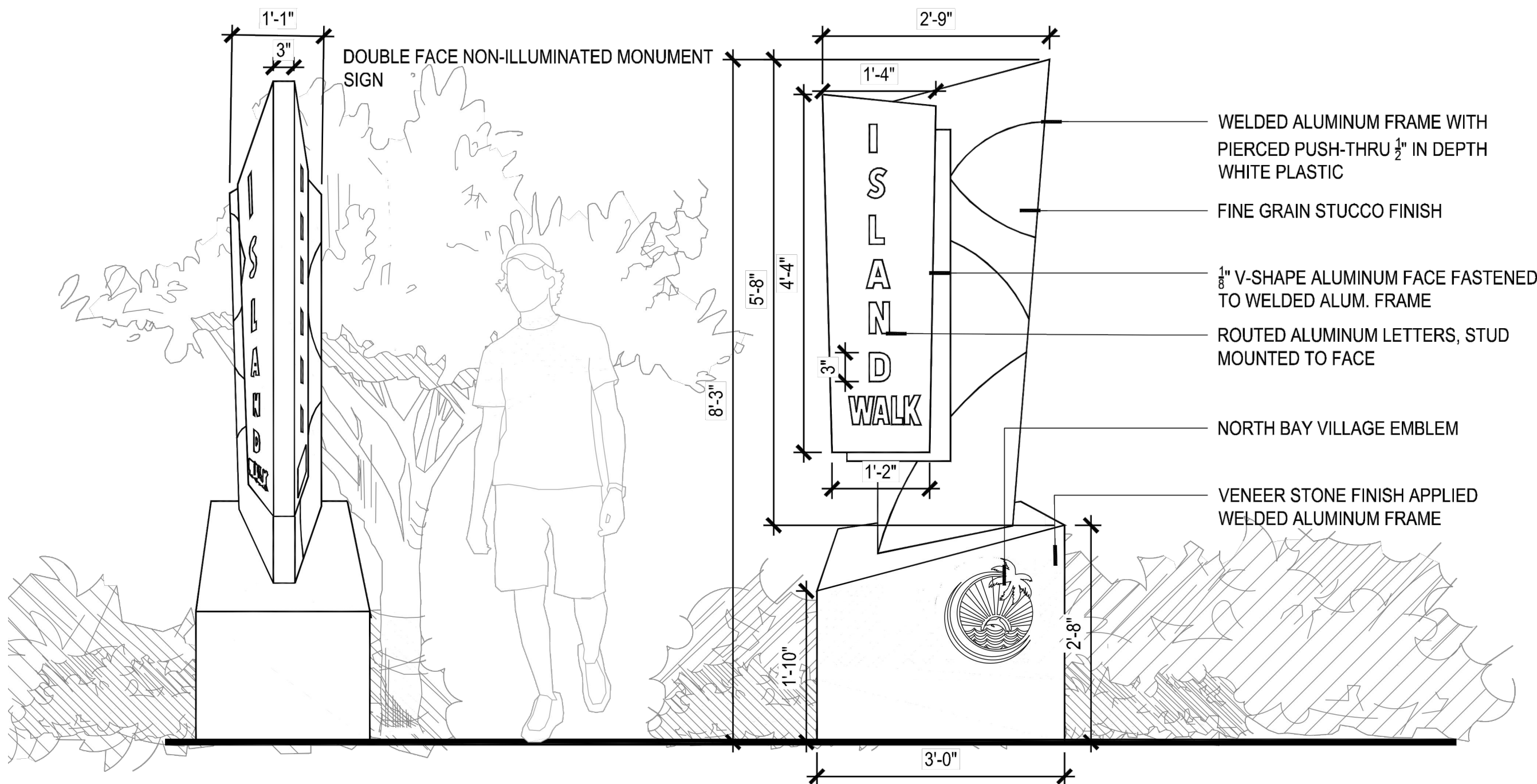
ILLUSTRATIVE PLAN

Sheet Number

L0-2-00



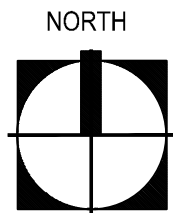
01 BAYWALK ENLARGEMENT
SCALE - N.T.S.



02 ISLAND WALK SIGNAGE
SCALE - 3/4" = 1'-0"

LEGEND	
SYMBOL	DESCRIPTION
1	WALKWAY BAY WALK
2	PEDESTRIAN PROMENADE
3	PLANTER WITH SEATWALL
4	ADA-RAMP TO BAYWALK
5	STEPS TO BAYWALK
6	STEPS TO GARAGE LEVEL
7	DOG RUN
8	PASSEO
9	CAFE (W/ GREEN ROOF)
10	ISLAND WALK SIGNAGE
11	BIKE RACKS
12	RESTAURANTS
13	SAFETY BOLLARDS

N.T.S.



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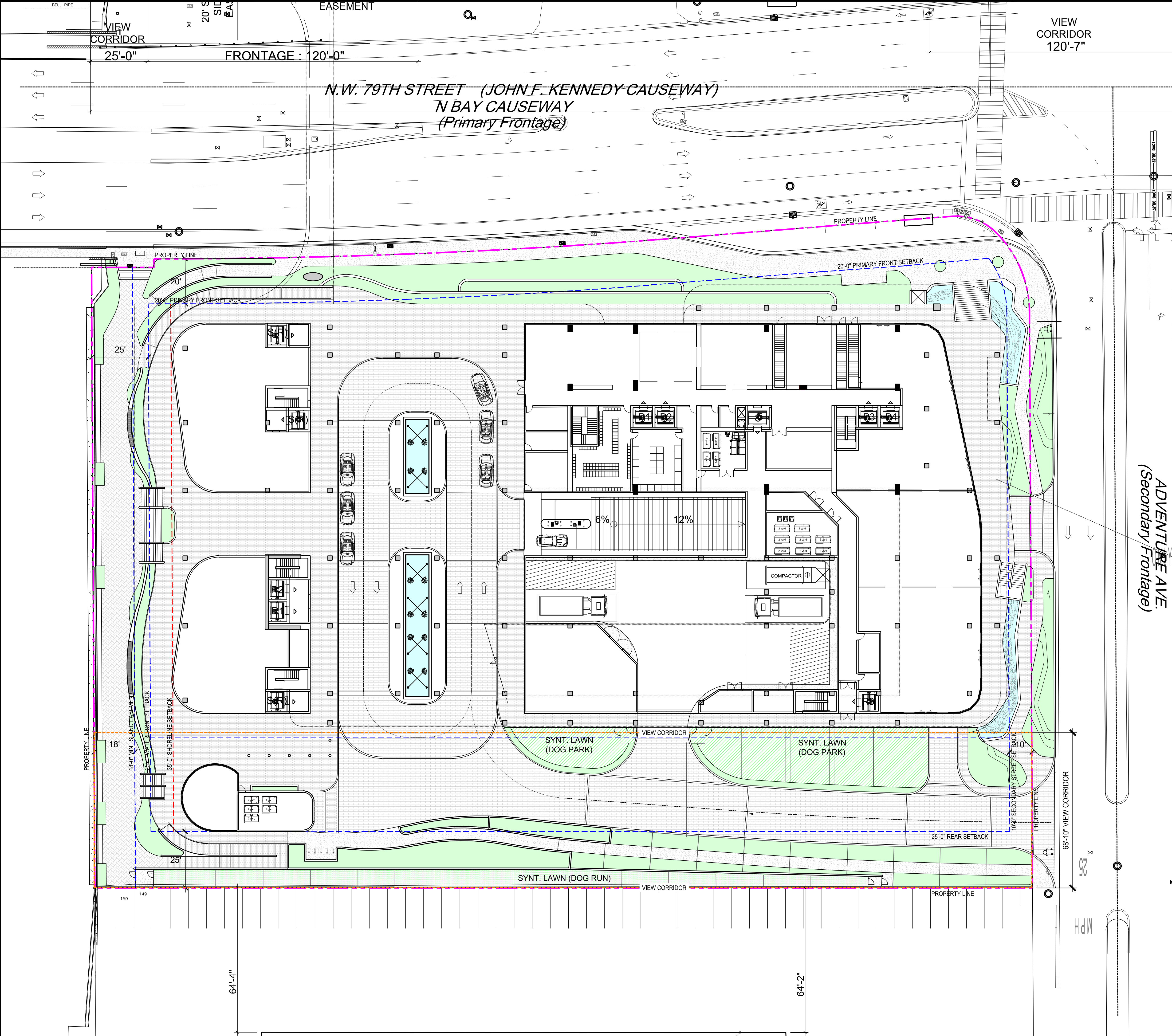
SHORELINE SUBMITTAL

Sheet Title

ILLUSTRATIVE
ENLARGEMENT

Sheet Number

L0-2-01



LEGEND

SITE PLAN

SYMBOL DESCRIPTION

PEDESTRIAN PAVERS
(21,125 SQ.FT.)

VEHICULAR PAVERS
(18,940 SQ.FT.)

BAYSIDE PAVERS
(4,080 SQ.FT.)

CONCRETE WALKWAY
(8,160 SQ.FT.)

GREEN AREA
(11,910 SQ.FT.)

DOG PARK
(2,840 SQ.FT.)

LINEAR DOG RUN
(2,160 SQ.FT.)

WATER FEATURES
(1,810 SQ.FT.)

VIEW CORRIDOR
(68'-10" WIDE)

COMBINED
(5,000 SQ.FT.)

PROPERTY LINE

SETBACK LINES

35' SHORELINE SETBACK

1" = 20'-0"

0 10' 20' 40'

NORTH

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

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REGISTERED LANDSCAPE ARCHITECT
LA 988932
STATE OF
FLORIDA

Project Phase

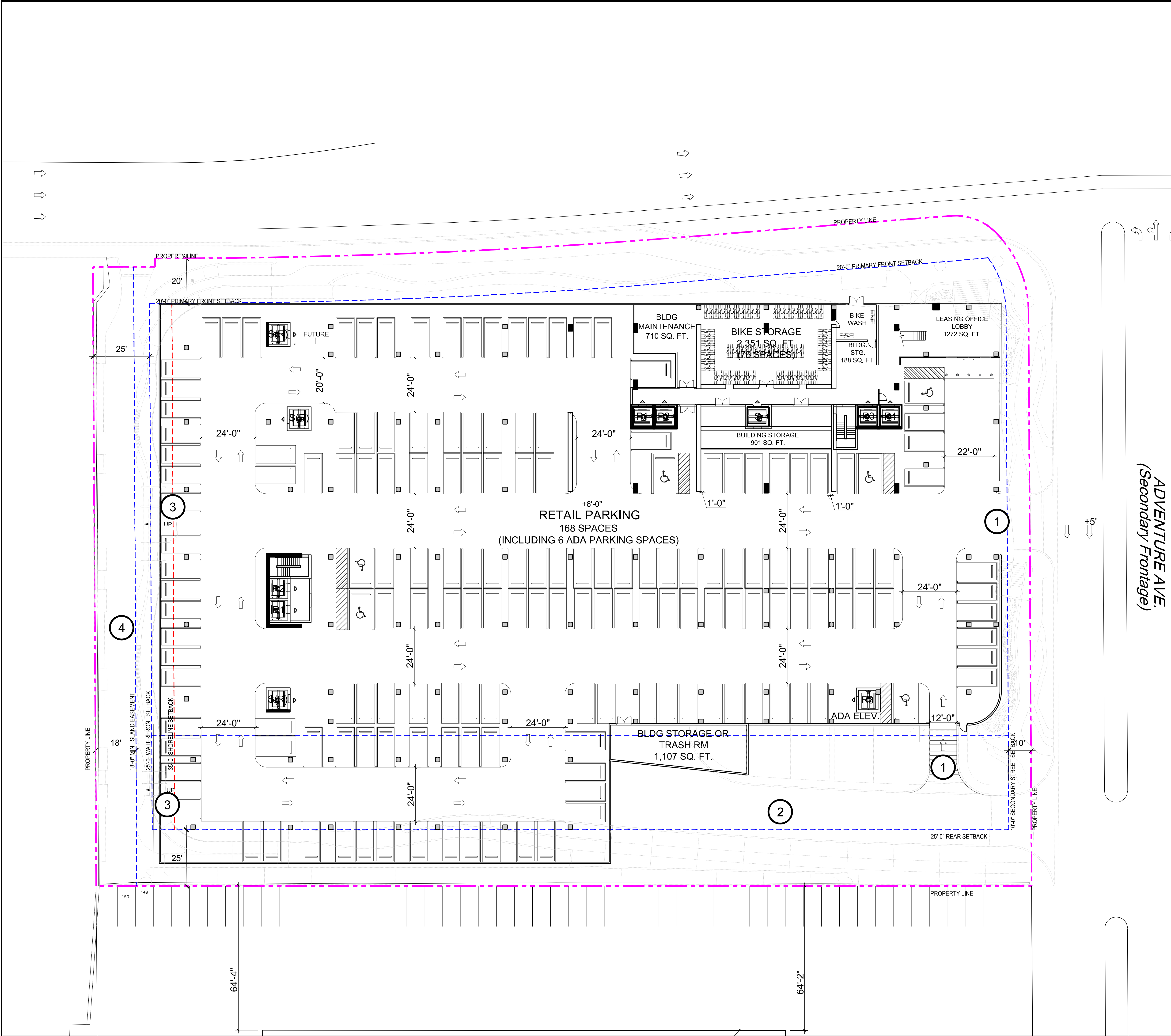
SHORELINE SUBMITTAL

Sheet Title

OVERALL SITE PLAN

Sheet Number

L0-2-02



LEGEND

SYMBOL	DESCRIPTION
1	GARAGE ENTRY
2	RAMP (ABOVE)
3	STEPS TO BAYWALK
4	BAYWALK

PROPERTY LINE

SETBACK LINES

35' SHORELINE SETBACK

1" = 20'-0"

0 10' 20' 40'

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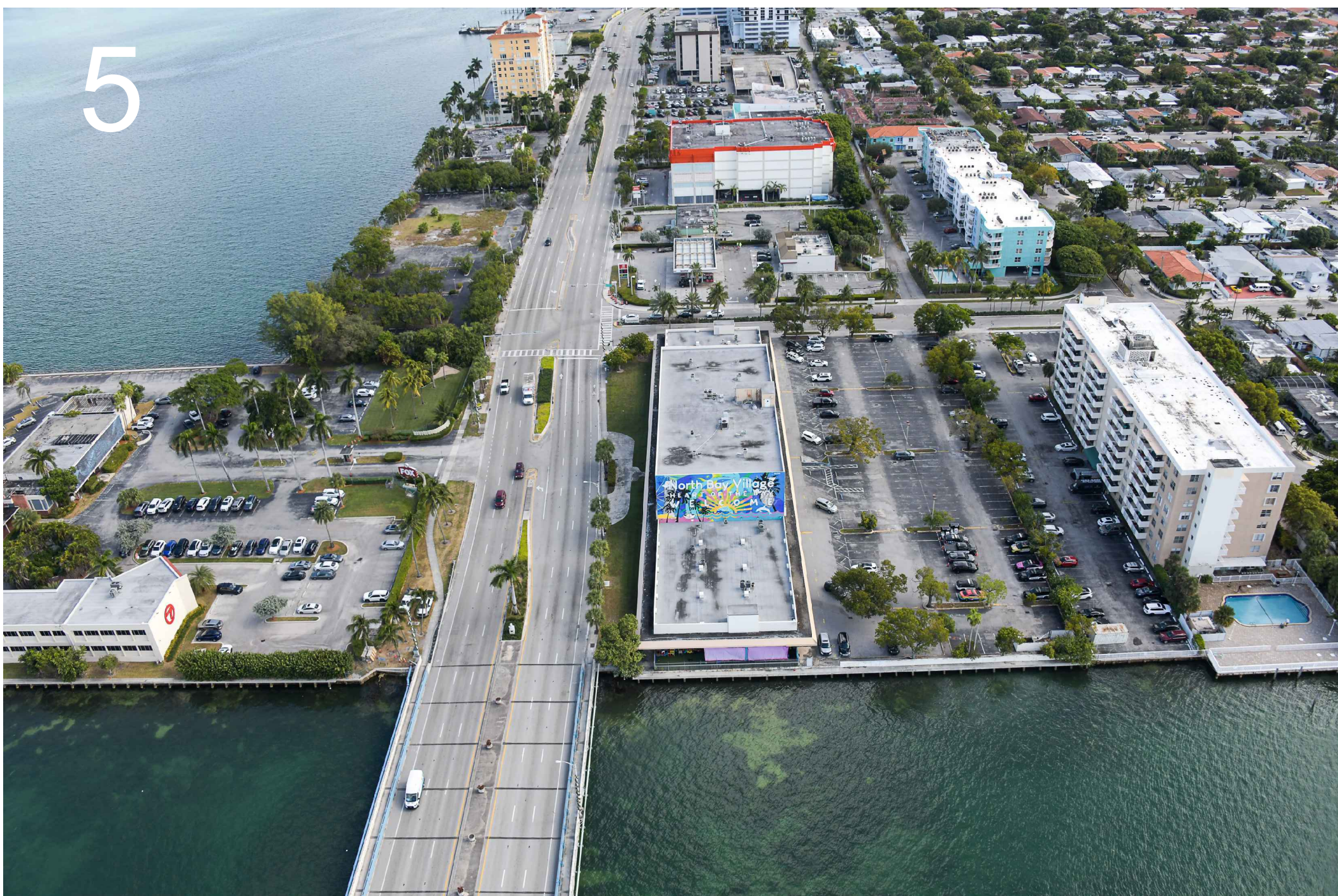
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Sheet Title

GROUND PARKING

Sheet Number

L0-2-03



LEGEND

AERIAL PHOTOS

SYMBOL	DESCRIPTION
1	VIEW FROM SOUTHWEST
2	VIEW FROM SOUTH
3	VIEW FROM SOUTHEAST
4	VIEW FROM NORTHEAST
5	VIEW FROM WEST
6	VIEW FROM NORTHWEST

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Project Phase

SHORELINE SUBMITTAL

Sheet Title

SITE PHOTOS

Sheet Number

L0-2-04

DEMOLITION / SITE CLEARING
GENERAL NOTES:

- 1. PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING:
 - A. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND FULLY OPERATIONAL. SEE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR REQUIREMENTS AND DETAILS.
 - B. ERECT BARRICADES TO PROTECT EXISTING TREES INDICATED TO REMAIN. SEE TREE PROTECTION REQUIREMENTS FOR ADDITIONAL REQUIREMENTS AND DETAILS.
 - C. COORDINATE WITH ALL UTILITY COMPANIES THAT MAY HAVE UTILITY SERVICES ON THIS SITE TO OBTAIN ALL PERMITS AS APPLICABLE. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AS REQUIRED T TAKE SUCH UTILITY SYSTEMS OUT OF SERVICE IF REQUIRED.
 - D. UTILITIES OUTSIDE OF HE LIMITS OF CONSTRUCTION ARE TO BE MAINTAINED AND OPERATIONAL THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - E. OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIAL, FIXTURES OR EQUIPMENT FROM THE SITE PRIOR TO DEMOLITION.
 - F. ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.

DEMOLITION / SITE CLEARING NOTES:

- 1. THE CONTRACTOR SHALL PROVIDE AT LEAST 48-HOUR NOTICE TO ALL UTILITY COMPANIES PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING TO PROVIDE FIELD LOCATES OF EXISTING UTILITIES.
- 2. REMOVE IN THEIR ENTIRETY ALL BUILDINGS, PAVEMENTS, STRUCTURES, RUBBISH, DEBRIS, UTILITIES AND ALL OTHER APPURTENANCES WHICH ARE NECESSARY TO PERMIT THE PROPOSED CONSTRUCTION AS DESIGNATED ION THE CONSURCITON DOCUMENTS.
- 3. ALL VEGETATIVE GROWTH, TIMER AND BRUSH SHALL BE REMOVED TO A DEPTH OF 18 INCHES BELOW NATURAL GROUND OR DESIGN GRADE WHICHEVER IS LOWER.
- 4. PAVEMENTS TO BE REMOVED SHALL BE SAW CUT TO ENSURE A CLEAN EDGE. CONCRETE PAVEMENT SHALL BE REMOVED TO THE NEAREST CONTROL JOINT WHERE APPLICABLE.
- 5. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED AND REMOVED. EXCAVATED AREAS SHALL BE BACKFILLED WITH CLEAN BUILDERS SAND AND RETURNED TO NATURAL GROUND OR DESIGN GRADE.
- 6. AFTER DEMOLITION / SITE CLEARING TILL/DISK ALL SURFACES TO A DEPTH OF SIX INCHES (6") AND REMOVE ANY REMAINING DELETERIOUS MATERIAL GREATER THAN 1 INCH (1") IN DIAMETER.
- 7. SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNERS REPRESENTATIVE FOR DIRECTION ON HOW TO PROCEED.
- 8. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION AND/OR SITE CLEARING ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE HAULING AND DISPOSAL OF WASTE MATERIAL.

TREE/PALM PROTECTION NOTES:

- 1. THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF EXISTING TREES/PALMS TO REMAIN WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING DEMOLITION AND/OR SITE CLEARING.
- 2. ALL TREE/PALM PROTECTION SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE CARE. ALL TREE CARE ACTIVITIES INCLUDING BUT NOT LIMITED TO CROWN PRUNING, FERTILIZING AND ROOT PRUNING SHALL BE CONDUCTED BY OR PREFORMED UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL B EAR THE COST OF THE ARBORIST.
- 3. ERECT TREE/PALM PROTECTION BARRICADES AS DETAILED IN THE CONTRACT DOCUMENTS. ALL BARRICADES SHALL BE PLACED A MINIMUM OF TEN FEET (10') CLEAR DISTANCE FROM THE FACE OF ANY PROTECTED TREE/PALM OR AS INDICATED BY EXISTING CODE OR ORDINANCES WHICHEVER IS GREATER. BARRICADES SHALL FULLY ENCLOSE ALL TREES/PALMS TO REMAIN.
- 4. NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, VEHICLES, OR SOIL DEPOSITS. ANY ACTIVITY THAT INVOLVES DISTURBING SOIL WITHIN THE BARRICADES SHALL BE DONE BY HAND OR LIGHT RUBBER WHEELED EQUIPMENT THAT WILL NOT COMPACT THE SOIL OR DAMAGE THE TREE/PALM ROOTS.
- 5. ALL TREES SUBJECT TO ENCROACHMENT INTO THE DRIP LINE DUE TO PROPOSED CONSTRUCTION SHALL BE ROOT PRUNED EIGHTEEN INCHES (18") FROM THE EDGE OF SAID CONSTRUCTION.
 - A. ROOT PRUNING SHALL CONSIST OF DIGGING A TRENCH FORTY- EIGHT INCHES (48") DEEP BY SIX INCHES (6") WIDE EITHER BY HAND OR WITH A TRENCHING MACHINE DESIGNED FOR THIS PURPOSE. ALL ROOTS SHALL BE CLEAN CUT WITH NO SPLITS OR TEARS.
 - B. TRENCH SHALL BE FILLED WITH TOPSOIL (SEE LANDSCAPE NOTES) PLACED IN TWELVE INCH (12") LIFTS. EACH LIFT SHALL BE WATERED IN TO PREVENT AIR POCKETS.
- 6. BARRICADES SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- 7. PROTECTED TREES/PALMS DEEMED UNACCEPTABLE BY THE OWNERS REPRESENTATIVE AT THE PROJECT COMPLETION DUE TO DAMAGE, LACK OF PROTECTION OR NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE REMOVED IN THEIR ENTIRETY AND REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.

PROTECT COORDINATION NOTES:

- 1. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK TO INTERFACE SMOOTHLY WITH OTHER WORK BEING PREFORMED ON OR ADJACENT TO THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES.
- 2. CONTRACTOR SHALL REFER TO THE HARDSCAPE NOTES, LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.

TREE / PALM RELOCATION
GENERAL NOTES:

- 1. TREES/PALMS TO BE RELOCATED ARE DESIGNATED ON THE DRAWINGS OR AS IDENTIFIED BY THE OWNERS REPRESENTATIVE.
- 2. THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF THE EXISTING CONDITIONS WITH THE OWNERS REPRESENTATIVE AT BOTH THE CURRENT AND PROPOSED LOCATIONS OF RELOCATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT DOCUMENTING THE EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO PHOTOGRAPHS IDENTIFYING TREES/PALMS TO BE RELOCATED, POTENTIAL OBSTRUCTIONS AND IDENTIFICATION OF A PROPOSED MOVING ROUTE THAT AVOIDS AND PROTECTS OVERHEAD AND UNDERGROUND UTILITIES. THE REPORT WILL SERVE AS A REFERENCE POINT FOR MONITORING THE EXISTING CONDITIONS WHICH WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP INTACT.
- 3. ALL TREE/PALM RELOCATIONS SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE RELOCATIONS. ALL RELOCATION ACTIVITIES SHALL BE CONDUCTED BY OR PREFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL BEAR THE COST OF THE ARBORIST.
- 4. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE 24 HOURS IN ADVANCE OF EACH RELOCATION TO ALLOW FOR OBSERVATION OF THE PROCEDURES.
- 5. TREES/PALMS SHALL ONLY BE MOVED ONCE, WITHIN 24 HOURS OF THE PLANTS EXCAVATION. NO NURSERY OR HOLDING ARE MAY BE USED.

PREPARATION NOTES:

- 1. TREES SIX INCH (6") CALIPER OR LESS AND PALMS OTHER THAN THOSE LISTED AS SPECIMEN PALMS MAY BE RELOCATED BY MECHANICAL MACHINERY AND DO NOT REQUIRE ROOT PRUNING .(SEE MECHANICAL RELOCATION)
- 2. TREES/PALMS REQUIRING ROOT PRUNING SHALL HAVE THIS PREFORMED ACCORDING TO THE FOLLOWING SCHEDULE:
 - A. TREES FOURTEEN INCH (14") CALIPER AND LESS AND SPECIMEN PALMS3 MONTHS PRIOR TO RELOCATING.
 - B. TREES FIFTEEN INCH (15") TO TWENTY-EIGHT INCH (28") CALIPER.....6 MONTHS PRIOR TO RELOCATING.
 - C. TREES OVER TWENTY-EIGHT INCH (28") CALIPER.....9 MONTHS PRIOR TO RELOCATING.
- 3. EQUIPMENT USED FOR ROOT PRUNING SHALL BE DESIGNED FOR THIS TASK AND SHALL PRODUCE CLEAN CUTS OF ROOTS WITHOUT DAMAGE TO THE RESULTING ROOT BALL.
- 4. TREES SHALL HAVE A MINIMUM ROOT BALL SIZE OF TEN INCHES (10") PER ONE INCH (1") OF CALIPER. ROOT BALLS ARE TO BE FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.
- 5. SPECIMEN PALMS SHALL HAVE A MINIMUM ROOT BALL OF THIRTY-SIX INCHES (36") AND SHALL BE FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.
- 6. ROOT BALLS FOR TREES/PALMS SHALL BE FORMED BY DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP AND SIX INCHES (6") WIDE EITHER BY HAND OR BY A TRENCHING MACHINE DESIGNED FOR THE PURPOSE.
- 7. IF ROOT PRUNING HAS BEEN PERFORMED OUTSIDE OF THE SCOPE OF THIS CONTRACT THE CONTRACTOR SHALL CONFIRM IN WRITING WITH THE OWNERS REPRESENTATIVE THAT ROOT PRUNING HAS BEEN ACCOMPLISHED AS DESCRIBED ABOVE.

HAND DIGGING / RELOCATION NOTES:

- 1. TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
- 2. ALL ROOT BALLS SHALL BE THOROUGHLY SOAKED FOR SEVEN (7) DAYS PRIOR TO DIGGING.
- 3. EXCAVATE TWELVE INCHES (12") OUTSIDE OF PREVIOUS ROOT PRUNING TO A DEPTH OF FORTY-EIGHT INCHES (48").
- 4. ROOT BALLS SHALL BE UNDERCUT PRIOR TO LIFTING. DO NOT FORCE TREE/PALM FROM GROUND.
- 5. TREES/PALMS SHALL BE LIFTED AND TRANSPORTED IN SUCH A MANNER AS TO AVOID DAMAGE TO BARK, LIMBS, TRUNKS OR FRONDS. SUPPORT CHAINS, STRAPS AND/OR CABLES SHALL BE PADDED AS REQUIRED. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE DOWELING IN LIEU OF LIFTING BY STRAPS.
- 6. EXCAVATE NEW PLANT PIT TWENTY-FOUR INCHES (24") WIDER THAN ROOT BALL AND TO A DEPTH THAT ALLOWS NEW ROOT BALL TO BE SITUATED THREE INCHES (3") ABOVE PROPOSED GRADE.
- 7. ROTATE TREE/PALM PRIOR TO SETTING TO ACHIEVE BEST POSITIONING AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- 8. BACKFILL PLANTING PIT WITH PREPARED PLANTING SOIL (SEE LANDSCAPE NOTES/SPECIFICATIONS) IN TWELVE INCH (12") LIFTS THOROUGHLY DRENCHING EACH LIFT WITH WATER TO PREVENT AIR POCKETS.
- 9. APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
- 10. TREES/PALMS SHALL BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

MECHANICAL DIGGING / RELOCATION NOTES:

- 1. TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
- 2. TREE SPADES SHALL B E LARGE ENOUGH TO ENCOMPASS THE FIBROUS FEEDER ROOTS OF EACH PLANT. TREE SPADES USED TO RELOCATE TREES/ NON-SPECIMEN PALMS SHALL MEET THE FOLLOWING CRITERIA:
 - A. TREES UP TO THREE INCH (3") CALIPER.....FORTY-FOUR INCH (44") SPADE
 - B. TREES THREE INCH (3") TO FIVE INCH (5") CALIPER.....SIXTY INCH (60") SPADE
 - C. TREES UP TO EIGHT INCH (8") CALIPER AND NON-SPECIMEN PALMS.....NINETY INCH (90") SPADE
- 3. USE SAME MACHINE TO DIG RECEIVING HOLE AND TO DIG TREE/PALM FOR TRANSPLANTING.
- 4. TREE SPADES SHALL HAVE A MAXIMUM TOLERANCE OF TWO INCHES (2") BETWEEN BLADES AND SHALL BE MOUNTED TO A STABLE MACHINE CAPABLE OF SUPPORTING THE WEIGHT OF ALL RELOCATED MATERIAL.
- 5. CENTER TREE/PALM IN THE SPADE WHEN DIGGING. CLEAN CUT ANY ROOTS PROTRUDING FROM THE DIGGING SPADE FLUSH WITH THE ROOT BALL BEFORE PLANTING.
- 6. AFTER PLACING TREE/PALM IN RECEIVING HOLE IMMEDIATELY FILL ALL CREVICES/VOIDS WITH PREPARED PLANTING SOIL. (SEE LANDSCAPE NOTES/SPECIFICATIONS) THOROUGHLY DRENCH WITH WATER TO PREVENT AIR POCKETS.
- 7. APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
- 8. TREES/PALMS TO BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

TREE / PALM RELOCATION
POST PLANTING MAINTENANCE NOTES:

- 1. DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL TRANSPLANTED TREES/PALMS.
- 2. MAINTENANCE DURING THE PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, REMOVAL OF DEAD MATERIAL, REPAIRING AND/OR REPLACING STAKING, RESETTNG PLANTS TO PROPER GRADES AND UPRIGHT POSITIONS AND APPLYING SUCH SPRAYS AS DIRECTED BY THE ARBORIST AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
- 3. ALL RELOCATED TREES/PALMS SHALL BE IRRIGATED BY HAND OR TEMPORARY AUTOMATIC IRRIGATION SYSTEM UNTIL A PERMANENT IRRIGATION SYSTEM IS OPERATIONAL.
- 4. IRRIGATION FOR TREES SHALL INCLUDE MIST HEADS AS DIRECTED BY ARBORIST.

SUBSTANTIAL COMPLETION ACCEPTANCE NOTES:

- 1. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
- 2. FOR THE PURPOSE OF ACCEPTANCE, THE RELOCATED TREES/PALMS TO BE HEALTHY, VIGOROUS, UNDAMAGED AND EXHIBIT EVIDENCE OF ESTABLISHING NEW ROOTS.
- 3. THE MINIMUM ALLOWABLE RATE OF SURVIVAL OF ALL RELOCATED MATERIAL SHALL BE 90%. DETERMINATION OF SURVIVABILITY SHALL BE MADE BY THE OWNERS REPRESENTATIVE AT THE COMPLETION.
- 4. ANY TREE/PALM THAT IS DEEMED UNACCEPTABLE AS A PRODUCT OF NEGLIGENCE BY THE CONTRACTOR SHALL BE REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.
- 5. THE DATE OF SUBSTANTIAL COMPLETION SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS THAT ALL WORK RELATED TO THE TREE/PALM TRANSPLANTING IS COMPLETE.
- 6. ALL TRANSPLANTED TREES/PALMS SHALL BE WARRANTED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION FROM THE OWNERS REPRESENTATIVE. THE DATE OF SUBSTANTIAL COMPLETION MAY VARY FROM THE DATE OF SUBSTANTIAL COMPLETION FOR OTHER PORTION OF THE PROJECT.

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL.: 954.524.3330


Consultants:

Key Plan

Rev	Date	Issued for

Date	05/30/2025
Designed By	MH, LDC
Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000

Seal



Project Phase

SHORELINE SUBMITTAL

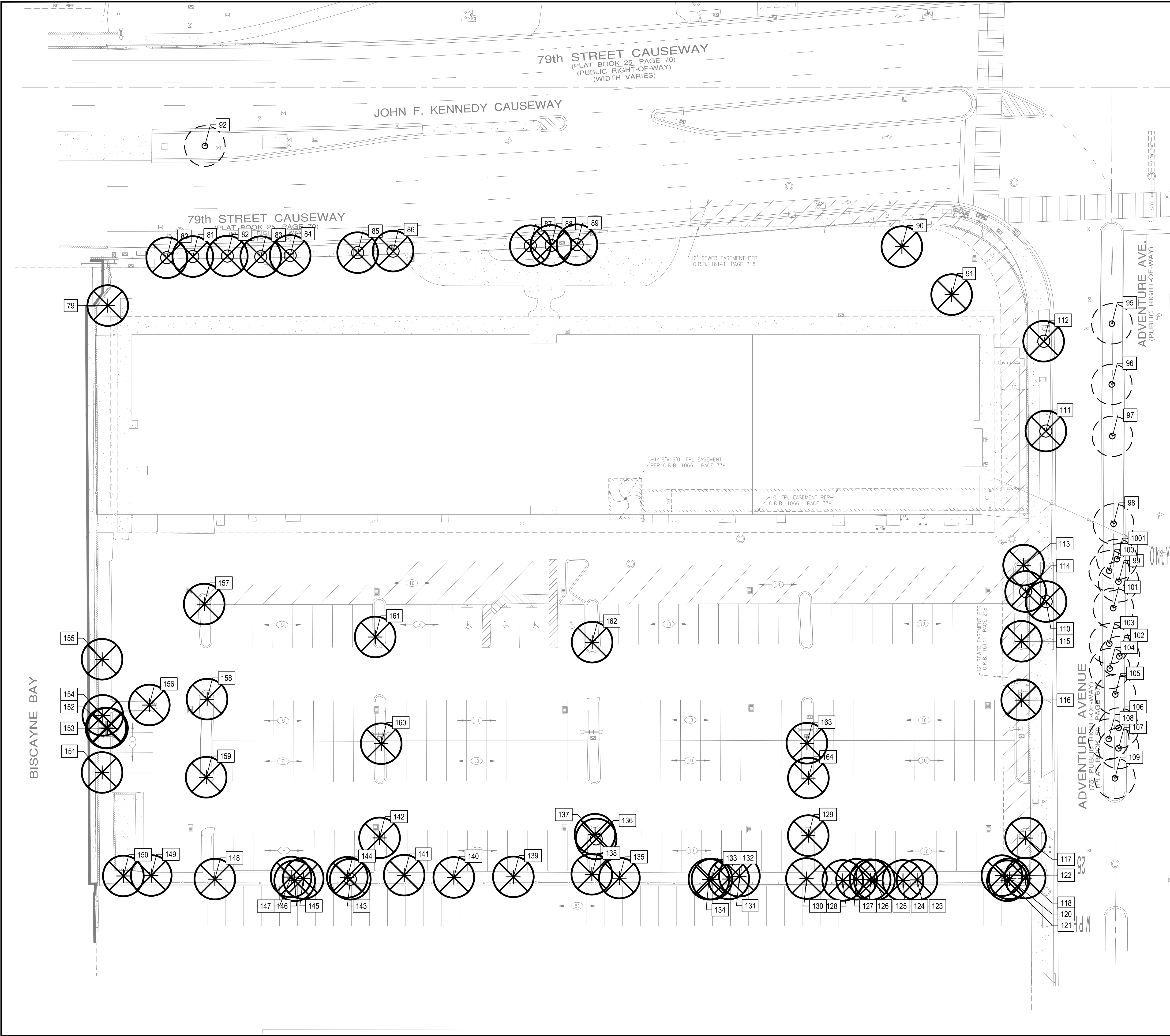
Sheet Title

GENERAL NOTES

Sheet Number

L0-5-01

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)



TREES / PALMS

SYMBOL	DESCRIPTION
	PALM TO BE REMOVED
	TREE TO BE REMOVED
	PALM TO REMAIN
	TREE TO REMAIN
	PALM TO BE RELOCATED
	TREE TO BE RELOCATED
	TREE ID
	NEW CONSTRUCTION

1" = 20'-0"

010'20'40'

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

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MH, LDC

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JS

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Seal

Project Phase

SHORELINE SUBMITTAL

Sheet Title

TREE DISPO PLAN

Sheet Number

L1-1-01

Tree Number	Common Name	Botanical Name	DBH (inches)	TPZ (feet)	Height (feet)	Canopy (feet)	Action	Condition	Canopy (sq.ft.)	Disposition Requirement (2:1 canopy ratio)
79	Sea grape	Coccoloba uvifera	32	16	25	25	REMOVE	30% Poor	490.63	981.25
80	Sabal palm	Sabal palmetto	11	5.5	17	14	REMOVE	70% Good	153.86	307.72
81	Sabal palm	Sabal palmetto	10	5	20	14	REMOVE	70% Good	153.86	307.72
82	Sabal palm	Sabal palmetto	11	5.5	20	14	REMOVE	70% Good	153.86	307.72
83	Sabal palm	Sabal palmetto	10	5	17	14	REMOVE	70% Good	153.86	307.72
84	Sabal palm	Sabal palmetto	10	5	20	14	REMOVE	70% Good	153.86	307.72
85	Sabal palm	Sabal palmetto	11	5.5	20	14	REMOVE	70% Good	153.86	307.72
86	Sabal palm	Sabal palmetto	13	6.5	20	14	REMOVE	70% Good	153.86	307.72
87	Sabal palm	Sabal palmetto	12	6	20	14	REMOVE	70% Good	153.86	307.72
88	Sabal palm	Sabal palmetto	12	6	20	14	REMOVE	70% Good	153.86	307.72
89	Sabal palm	Sabal palmetto	12	6	15	14	REMOVE	70% Good	153.86	307.72
90	Gumbo limbo	Bursera simaruba	22	11	20	30	REMOVE	40% Poor	706.50	1413
91	Gumbo limbo	Bursera simaruba	29.5	14.75	20	30	REMOVE	40% Poor	706.50	1413
92	Royal palm	Roystonea regia	15	7.5	30	15	REMAIN	70% Good	176.63	353.25
95	Date palm	Phoenix dactylifera	20	10	20	20	REMOVE	70% Good	314.00	628
96	Date palm	Phoenix dactylifera	14	7	20	20	REMOVE	70% Good	314.00	628
97	Coconut palm	Cocos nucifera	7	3.5	18	18	REMOVE	70% Good	254.34	508.68
98	Coconut palm	Cocos nucifera	6	3	16	16	REMAIN	70% Good	200.96	401.92
99	Thatch palm	Thrinax radiata	3.5	1.75	6	6	REMAIN	70% Good	28.26	56.52
100	Thatch palm	Thrinax radiata	4	2	8	8	REMAIN	70% Good	50.24	100.48
101a	Thatch palm	Thrinax radiata	4	2	6	6	REMAIN	70% Good	28.26	56.52
101	Coconut palm	Cocos nucifera	9.5	4.75	20	20	REMAIN	70% Good	314.00	628
102	Thatch palm	Thrinax radiata	4	2	6	6	REMAIN	70% Good	28.26	56.52
103	Thatch palm	Thrinax radiata	4	2	5	5	REMAIN	70% Good	19.63	39.25
104	Thatch palm	Thrinax radiata	4	2	6	6	REMAIN	70% Good	28.26	56.52
105	Coconut palm	Cocos nucifera	8.5	4.25	18	18	REMAIN	70% Good	254.34	508.68
106	Thatch palm	Thrinax radiata	4	2	5	5	REMAIN	70% Good	19.63	39.25
107	Thatch palm	Thrinax radiata	4	2	5	5	REMAIN	70% Good	19.63	39.25
108	Thatch palm	Thrinax radiata	3.5	1.75	6	6	REMAIN	70% Good	28.26	56.52
109	Coconut palm	Cocos nucifera	9.5	4.75	35	20	REMAIN	70% Good	314.00	628
110	Coconut palm	Cocos nucifera	11	5.5	33	20	REMOVE	70% Good	314.00	628
111	Coconut palm	Cocos nucifera	14	7	40	20	REMOVE	70% Good	314.00	628
112	Coconut palm	Cocos nucifera	12.5	6.25	35	20	REMOVE	70% Good	314.00	628
113	Mahogany	Swietenia mahagoni	22.5	11.25	25	30	REMOVE	70% Good	706.50	1413
114	Sabal palm	Sabal palmetto	16	8	7	15	REMOVE	45% Fair	176.63	353.25
115	Mahogany	Swietenia mahagoni	20.5	10.25	30	30	REMOVE	45% Fair	706.50	1413
116	Mahogany	Swietenia mahagoni	16.5	8.25	25	25	REMOVE	45% Fair	490.63	981.25
117	Pigeon plum	Coccoloba diversifolia	6.5	3.25	8	8	REMOVE	25% Poor	50.24	100.48
118	Mahogany	Swietenia mahagoni	13	6.5	25	20	REMOVE	50% Fair	314.00	628
120	Pink tabebuia	Tabebuia rosea	6.5	3.25	18	18	REMOVE	40% Poor	254.34	508.68
121	Sabal palm	Sabal palmetto	12	6	10	10	REMOVE	50% Fair	78.50	157
122	Pink tabebuia	Tabebuia rosea	4.5	2.25	15	6	REMOVE	40% Poor	28.26	56.52
123	Pigeon plum	Coccoloba diversifolia	7	3.5	10	12	REMOVE	50% Fair	113.04	226.08
124	Pigeon plum	Coccoloba diversifolia	5	2.5	6	6	REMOVE	40% Poor	28.26	56.52
125	Earleaf acacia	Acacia auriculiformis	11.5	5.75	30	20	REMOVE	45% Fair	Invasive	0
126	Earleaf acacia	Acacia auriculiformis	7.5	3.75	25	16	REMOVE	30% Poor	Invasive	0
127	Mahogany	Swietenia mahagoni	15.5	7.75	33	35	REMOVE	30% Poor	961.63	1923.25
128	Earleaf acacia	Acacia auriculiformis	6	3	10	12	REMOVE	20% Poor	Invasive	0
129	Mahogany	Swietenia mahagoni	16	8	33	35	REMOVE	50% Fair	961.63	1923.25
130	Earleaf acacia	Acacia auriculiformis	6	3	20	20	REMOVE	20% Poor	Invasive	0
131	Pigeon plum	Coccoloba diversifolia	7	3.5	10	10	REMOVE	50% Fair	78.50	157
132	Earleaf acacia	Acacia auriculiformis	9	4.5	25	15	REMOVE	30% Poor	Invasive	0
133	Pigeon plum	Coccoloba diversifolia	8.5	4.25	10	10	REMOVE	50% Fair	78.50	157
134	Earleaf acacia	Acacia auriculiformis	11.5	5.75	28	15	REMOVE	30% Poor	Invasive	0
135	Pink tabebuia	Tabebuia rosea	5.5	2.75	14	12	REMOVE	50% Fair	113.04	226.08
136	Sabal palm	Sabal palmetto	16	8	6	15	REMOVE	50% Fair	176.63	353.25
137	Mahogany	Swietenia mahagoni	20.5	10.25	25	30	REMOVE	30% Poor	706.50	1413
138	Sea grape	Coccoloba uvifera	19.5	9.75	20	20	REMOVE	50% Fair	314.00	628
139	Mahogany	Swietenia mahagoni	14.5	7.25	12	25	REMOVE	45% Fair	490.63	981.25
140	Mahogany	Swietenia mahagoni	12.5	6.25	8	20	REMOVE	30% Poor	314.00	628
141	Earleaf acacia	Acacia auriculiformis	6	3	12	6	REMOVE	30% Poor	Invasive	0
142	Pink tabebuia	Tabebuia rosea	3	1.5	8	6	REMOVE	10% Poor	28.26	56.52
143	Sabal palm	Sabal palmetto	13	6.5	12	14	REMOVE	70% Good	153.86	307.72
144	Mahogany	Swietenia mahagoni	7.5	3.75	18	15	REMOVE	30% Poor	176.63	353.25
145	Sea grape	Coccoloba uvifera	22	11	15	15	REMOVE	50% Fair	176.63	353.25
146	Sea grape	Coccoloba uvifera	17	8.5	15	15	REMOVE	50% Fair	176.63	353.25
147	Mahogany	Swietenia mahagoni	18.5	9.25	25	30	REMOVE	25% Poor	706.50	1413
148	Sea grape	Coccoloba uvifera	36	18	10	10	REMOVE	50% Fair	78.50	157
149	Sea grape	Coccoloba uvifera	7	3.5	6	8	REMOVE	60% Fair	50.24	100.48
150	Mahogany	Swietenia mahagoni	13.5	6.75	18	20	REMOVE	30% Poor	314.00	628
151	Mahogany	Swietenia mahagoni	10.5	5.25	18	15	REMOVE	50% Fair	176.63	353.25
152	Washingtonia palm	Washingtonia robusta	13	6.5	30	10	REMOVE	60% Fair	78.50	157
153	Pink tabebuia	Tabebuia rosea	7.5	3.75	15	10	REMOVE	50% Fair	78.50	157
154	Pink tabebuia	Tabebuia rosea	8	4	12	10	REMOVE	50% Fair	78.50	157
155	Mahogany	Swietenia mahagoni	17	8.5	30	35	REMOVE	50% Fair	961.63	1923.25
156	Pink tabebuia	Tabebuia rosea	9	4.5	15	12	REMOVE	50% Fair	113.04	226.08
157	Mahogany	Swietenia mahagoni	28	14	35	55	REMOVE	40% Poor	2,374.63	4749.25
158	Mahogany	Swietenia mahagoni	19	9.5	30	35	REMOVE	30% Poor	961.63	1923.25
159	Mahogany	Swietenia mahagoni	12.5	6.25	25	20	REMOVE	50% Fair	314.00	628
160	Madagascar olive	Noronhia emarginata	8.5	4.25	14	18	REMOVE	60% Fair	254.34	508.68
161	Pigeon plum	Coccoloba diversifolia	18.5	9.25	18	12	REMOVE	40% Poor	113.04	226.08
162	Mahogany	Swietenia mahagoni	26	13	35	50	REMOVE	40% Poor	1,962.50	3925
163	Madagascar olive	Noronhia emarginata	10	5	14	15	REMOVE	50% Fair	176.63	353.25
164	Madagascar olive	Noronhia emarginata	6	3	12	na	REMOVE	0% Dead	0.00	0
Total Canopy Replacement:									43,826.55	
Total Cat.1 Trees Req.:									88	

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

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Consultants:

Key Plan

Rev	Date	Issued for

Date	05/30/2025
Designed By	MH, LDC
Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000



Project Phase
SHORELINE SUBMITTAL

Sheet Title
TREE MITIGATION
SCHEDULE

Sheet Number

L1-5-01

GENERAL NOTES:

- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES WERE PROVIDED TO EDSA AND ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE CONTRACT DOCUMENTS. EDSA AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREIN OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- THE CONTRACTOR SHALL FIELD LOCATE, VERIFY AND FURTHER IDENTIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ABOVE AND BELOW GRADE AFFECTING ANY COMPONENT OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION. DISCREPANCIES, CONFLICTS, OR POTENTIAL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
- DO NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION DISCOVERED IN THE CONTRACT DOCUMENTS. IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY SUCH DISCOVERY. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO REFLECT THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PREFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.
- ALL WORK SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT.
- THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DO NOT MEET THE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES INSTALLED AS PART OF THIS PROJECT SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE. SEE THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.

HARDSCAPE NOTES:

- PRIOR TO THE COMMENCEMENT OF HARDSCAPE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHER CONTRACTORS WORKING ON THIS PROJECT IN RELATION TO THE WORK RESPONSIBILITIES DEPICTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE IN WRITING OF ANY POTENTIAL DEVIATIONS WITHIN 48 HRS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF HARDSCAPE CONSTRUCTION.
- THE CONTRACTOR SHALL SURVEY, LAYOUT AND STAKE THE LOCATION OF ALL FOOTINGS, PIERS, WALLS, COLUMNS AND PAVEMENT FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND/OR FIELD MOCKUPS FOR ALL ITEMS LISTED ON THE FINISH SCHEDULE UNLESS SPECIFICALLY NOTED OTHERWISE. MOCKUPS SHALL BE SET UP IN A SECURED LOCATION ON THE SITE FOR REFERENCE AS DIRECTED BY THE OWNERS REPRESENTATIVE. MOCKUPS WILL REMAIN ON SITE UNTIL THE COMPLETION OF HARDSCAPE CONSTRUCTION.
- ANY REFERENCE IN THE HARDSCAPE CONSTRUCTION DOCUMENTS TO BRANDED PRODUCTS, PROCEDURES OR PATENTED PROCESSES ARE ASSUMED TO CARRY AN IMPLIED STATEMENT OF "OR APPROVED EQUAL" UNLESS SPECIFICALLY NOTED OTHERWISE WITH "NO SUBSTITUTIONS PERMITTED"
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- THE CONTRACTOR SHALL EMPLOY AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND/OR GOVERNING AUTHORITIES, A TESTING LABORATORY APPROVED BY THE OWNERS REPRESENTATIVE TO CONDUCT ALL TESTS NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE STANDARDS AND CODES.
- WRITTEN DIMENSIONS, COORDINATES AND/OR ELECTRONIC FILES PREVAIL OVER SCALED DIMENSIONS. DO NOT SCALE FROM THE CONTRACT DOCUMENTS.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
- REFER TO CIVIL PLANS FOR OVERALL SITE LAYOUT/DIMENSIONS.
- HARDSCAPE DIMENSIONS ARE FROM THE FACE AND/OR CENTERLINE OF THE OBJECT AT 90 DEGREE ANGLES UNLESS NOTED OTHERWISE. ALL RADII AND CURVES ARE TO HAVE SMOOTH AND CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
- PAVER DIMENSIONS ARE NOMINAL. VERIFY ACTUAL PAVER DIMENSIONS PRIOR TO LAYOUT OF PAVER FIELDS.
- ALL REFERENCES TO "GRAY CONCRETE" SHALL MEAN NATURAL CONCRETE WITH NO COLOR ADDITIVE.
- INFORMATION ON STRUCTURAL REINFORCEMENT, ANCHORS, FASTENERS, FOUNDATIONS OR OTHER STRUCTURAL ELEMENTS SHOWN ON THE SITE HARDSCAPE DOCUMENTS RELATED TO WALLS, SLABS, STRUCTURES AND ALL CAST IN PLACE CONCRETE IS SHOWN FOR MATERIAL RELATIONSHIPS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
- CROSS SLOPE ON HARDSCAPE PAVEMENT SHALL NOT EXCEED 2%. RUNNING SLOPE SHALL NOT EXCEED 5% UNLESS NOTED OTHERWISE. SEE LANDSCAPE GRADING FOR ADDITIONAL REQUIREMENTS.
- SITE FURNISHINGS SHALL BE INSTALLED AS DETAILED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANCHORING DETAILS WITH THE ITEM'S MANUFACTURER PRIOR TO

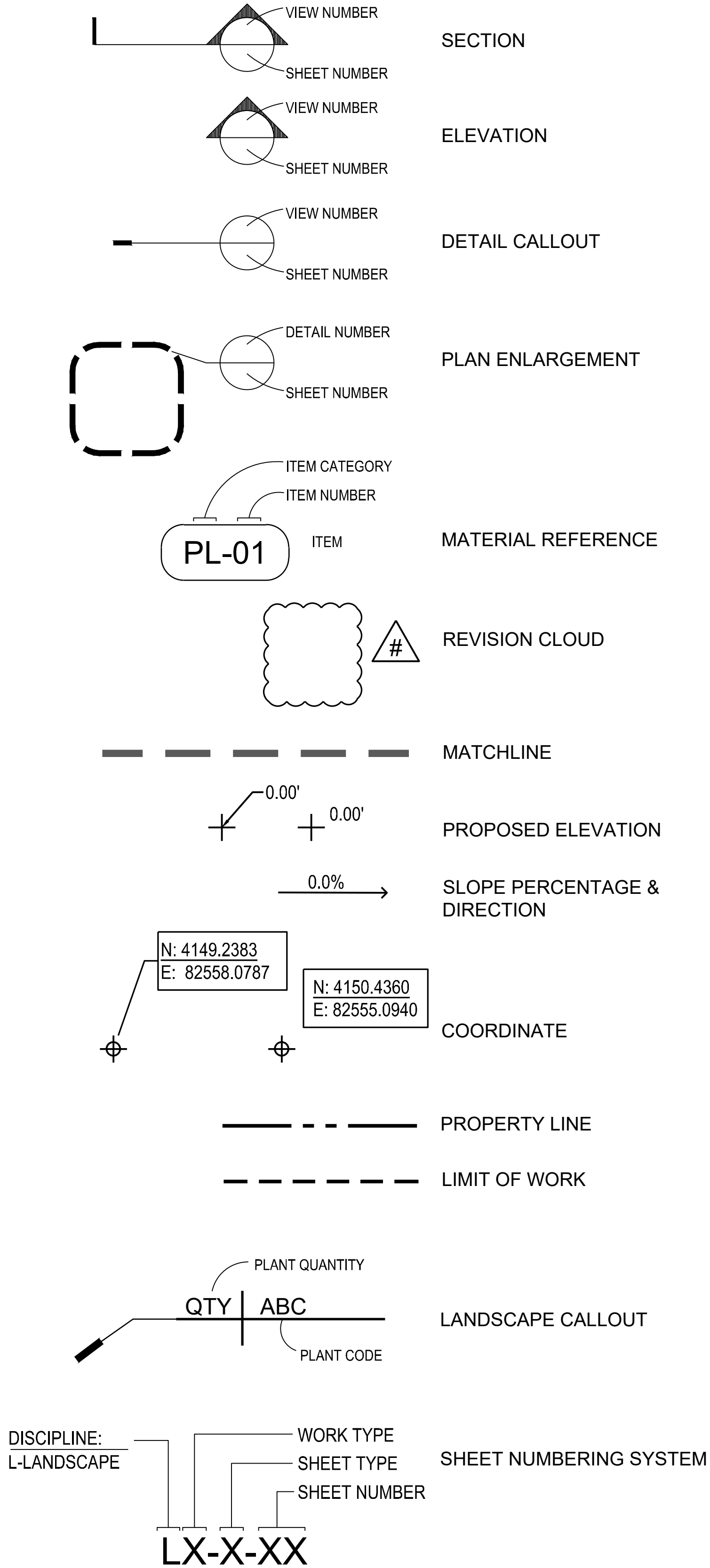
HARDSCAPE NOTES:(cont.)

- PURCHASE/INSTALLATION.
- HARDSCAPE ON-STRUCTURE: SITE HARDSCAPE ELEMENTS FOR ALL PODIUM, ROOF LEVEL AND BUILDING RELATED SURFACES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP AND STRUCTURAL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION FOR ALL ANCHORS, REINFORCING, WATERPROOFING, DRAINAGE FIXTURES, MATERIAL ATTACHMENTS, SETTING METHODS AND SLAB PENETRATIONS FOR PAVING, IRRIGATION, DRAINAGE AND ELECTRICAL FIXTURES.
 - WATER FEATURES: SITE HARDSCAPE ELEMENTS SHOWN FOR FOUNTAINS, POOLS, SPA WATERFALLS AND OTHER WATER FEATURES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND FOUNTAIN/POOL ENGINEERS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
 - LIGHT FIXTURES: LIGHT FIXTURES ARE SHOWN FOR MATERIAL RELATIONSHIP AND ORIENTATION WITH HARDSCAPE/LANDSCAPE ELEMENTS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ELECTRICAL ENGINEER FOR ACTUAL CONSTRUCTION DOCUMENTATION.

FINE GRADING NOTES:

- CIVIL AND LANDSCAPE GRADES ARE COMPLEMENTARY. REFER TO THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ROUGH GRADING OF THE SITE. FINISH GRADES FOR ALL VEHICULAR PAVEMENT, BUILDINGS, DRAINAGE AND UTILITY STRUCTURES.
- PRIOR TO INITIATING FINE GRADING THE CONTRACTOR SHALL INSPECT THE SITE TO CONFIRM THAT ROUGH GRADING AND DRAINAGE STRUCTURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CIVIL ENGINEERING CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT IN WRITING TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO RESOLVE ANY DISCREPANCIES.
- NUMEROUS UNDERGROUND UTILITIES, CONDUITS, SLEEVES AND UTILITY STRUCTURES ABOVE AND BELOW GRADE HAVE BEEN PREVIOUSLY INSTALLED. THE CONTRACTOR SHALL CONDUCT FINE GRADING TO AVOID DAMAGE TO THESE ELEMENTS.
- ALL PEDESTRIAN PAVEMENT AND LANDSCAPE AREAS SHALL BE GRADED TO POSITIVELY DRAIN AWAY FROM VERTICAL ELEMENTS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS AND COLUMNS TOWARD AND INTO DRAINAGE STRUCTURES. LANDSCAPE AREAS SHALL BE SMOOTH AND EVEN IN TRANSITION AND VOID OF WATER HOLDING DEPRESSIONS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES UNLESS OTHERWISE NOTED. MAKE ALLOWANCES FOR PAVEMENT THICKNESS AND THE DEPTH OF PREPARED PLANTING SOIL WHERE APPLICABLE.
- THE CONTRACTOR SHALL NOT SUBSTANTIALLY VARY FINE GRADING FROM THE GRADING PLAN WITHOUT APPROVAL FROM THE OWNERS REPRESENTATIVE. THE OWNERS REPRESENTATIVE MAY ADJUST FINE GRADING SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
- PROTECT SITE FEATURES TO REMAIN, INCLUDING BUT NOT LIMITED TO BENCH MARKS, SURVEY CONTROL POINTS, EXISTING STRUCTURES AND PAVING FROM DAMAGE BY GRADING EQUIPMENT.
- MATCH PROPOSED PAVEMENT GRADES WITH EXISTING CONDITIONS TO REMAIN TO PROVIDE FLUSH INTERFACES WITH ABUTTING SURFACES.
- GRADES FOR SOD AREAS SHALL BE HELD ONE INCH (1") BELOW ADJACENT PAVEMENT GRADES TO ALLOW FOR INSTALLATION OF SOD.
- GRADES FOR PLANTING AREAS SHALL BE HELD TWO INCHES (2") BELOW ADJACENT PAVEMENT TO ALLOW FOR THE INSTALLATION OF PREPARED PLANTING SOIL, MULCH AND PLANT MATERIAL.
- FILL REQUIRED TO BRING THE SITE TO THE REQUIRED LINES AND FINISHED GRADES CONTAINED IN THE CONTRACT DOCUMENTS SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- FILL SHALL BE COMPACTED AS FOLLOWS:
 - UNDER PEDESTRIAN PAVEMENT: AS RECOMMENDED BY CIVIL/GEOTECHINCAL ENGINEER.
 - LANDSCAPE AREAS: COMPACT TOP TWELVE INCHES (12") BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO 80% MAXIMUM DRY DENSITY ACCORDING TO ASTM D698.
- CONTOURS FOR LANDSCAPE BERMS, MOUNDS AND SWALES SHALL BE SMOOTH CONTINUOUS ARCS VOID OF SURFACE IRREGULARITIES AND SHALL BLEND INTO SURROUNDING TERRAIN IN A NATURAL MANOR.
- ALL LANDSCAPE AREAS SHALL BE DRAGGED WITH A DRAG MAT TO BLEND IN SMALL IMPERFECTIONS AND ROUND OFF AND SHARP EDGES.
- FINE GRADE TOLERANCES FOR LANDSCAPE AREAS...PLUS OR MINUS (+/-) 0.04 FOOT (").
- FINE GRADE TOLERANCES FOR HARDSCAPE AREAS...PLUS OR MINUS (+/-) 0.02 FOOT(").
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING GRADES AND TO REPAIR AND CLEAN UP AREAS WHERE SETTLEMENT, WASHOUTS, EROSION OR OTHER GRADE CHANGES OCCUR UNTIL FINAL ACCEPTANCE.

STANDARD DRAWING SYMBOLS:



STANDARD ABBREVIATIONS:

ADA	AMERICANS WITH DISABILITIES ACT	ESMT	EASEMENT EACH WAY	NTS	NOT TO SCALE
B&B	BALLED AND BURLAPPED	EW	FINISHED FLOOR ELEVATION	OC	ON CENTER
BFP	BACKFLOW PREVENTER	FFE	GALVINIZED	PL	PROPERTY LINE
CIP	CAST-IN-PLACE	GALV	GUAGE	PT	PAINT
CJ	CONSTRUCTION JOINT	GA	HIGH POINT	R	RADIUS
CL	CENTER LINE	HP	HIGH WATER LINE	REBAR	REINFORCING STEEL BARS
CMU	CONCRETE MASONRY UNIT	HWL	INVERT ELEVATION	RIM	RIM ELEVATION
COORD	COORDINATE	INV	LINEAR FEET (FOOT)	ROW	RIGHT-OF-WAY
CONT	CONTINUOUS	LF	LOW POINT	SIM	SIMILAR
DEMO	DEMOLITION	LP	MAXIMUM	SST	STAINLESS STEEL
DIA	DIAMETER	MAX	MEAN HIGH WATER	TOC	TOP OF COLUMN
D1	DRAIN INLET	MHW	MINIMUM	T.W.	TOP OF WALL
EA	EACH	MIN.	NATURAL WATER LINE	T.S.	TOP OF STEP
EJ	EXPANSION JOINT	NWL	NOT IN CONTRACT	T.C.	TOP OF CURB
EQ	EQUAL	NIC		WWF	WELDED WIRE FABRIC
				YD	YARD DRAIN

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3530

Consultants:

Key Plan

Rev	Date	Issued for

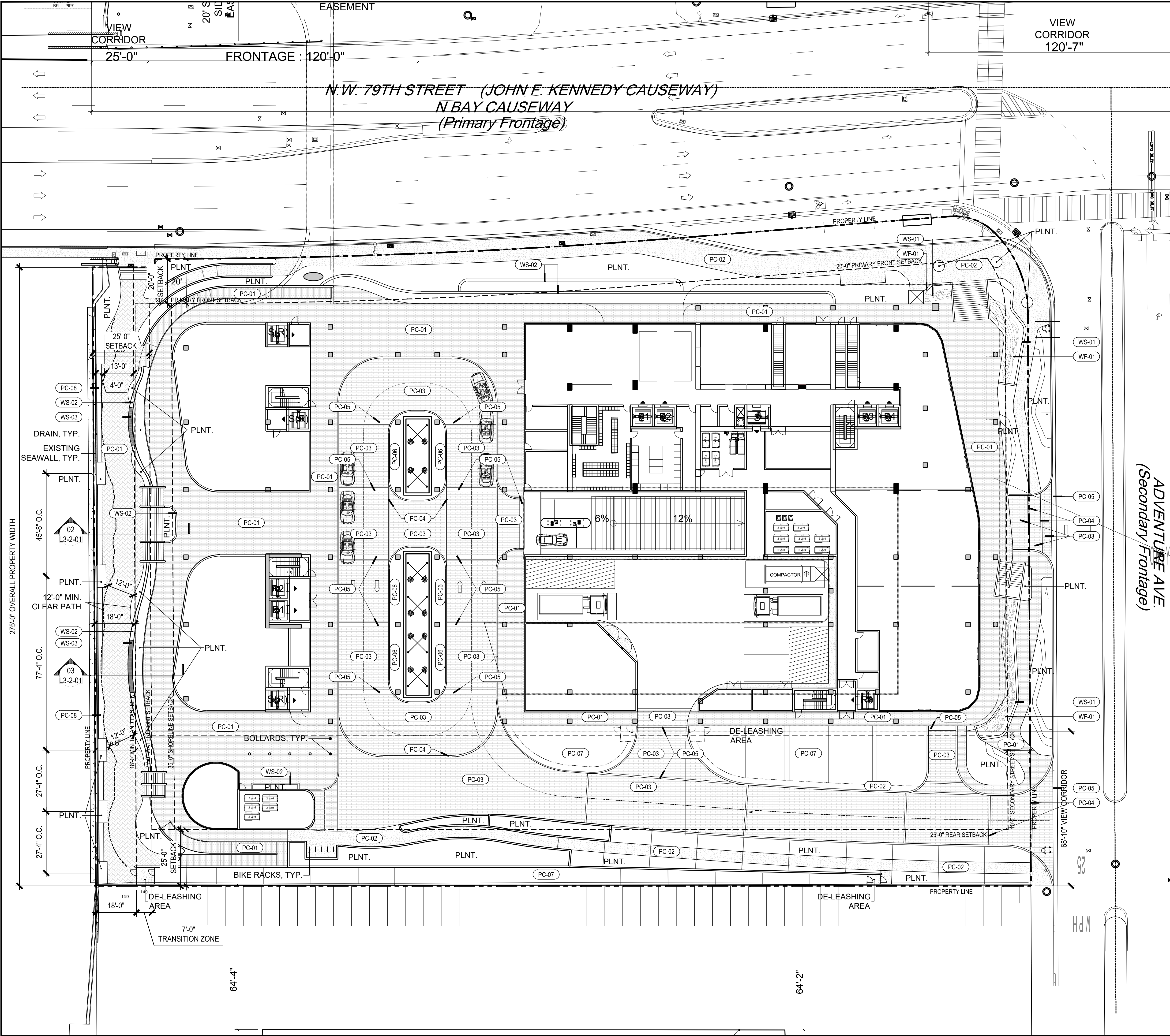
Date	05/30/2025
Designed By	MH, LDC
Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000



Project Phase
SHORELINE SUBMITTAL

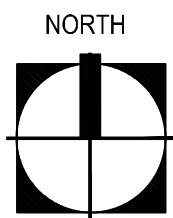
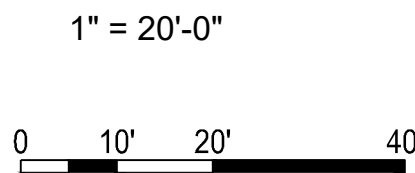
Sheet Title
HARDSCAPE NOTES

Sheet Number
L3-0-01



HARDSCAPE LEGEND		
SYMBOL	DESCRIPTION	DETAIL
PC-01	PEDESTRIAN RATED PAVERS	
PC-02	CONCRETE WALKWAY	
PC-03	VEHICULAR RATED PAVERS	
PC-04	VEHICULAR RATED PAVER BAND	
PC-05	CONCRETE BAND	
PC-06	BEACH PEBBLES	
PC-07	SYNTHETIC LAWN	
PC-08	DETECTABLE PAVERS	
WF-01	WATER FEATURE	
WS-01	SEATWALL	
WS-02	CONCRETE WALL	
WS-03	WOOD SLATS ON CONCRETE WALL	
	DRAIN	

ADVENTURE AVE.
(Secondary Frontage)



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

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Seal

Project Phase

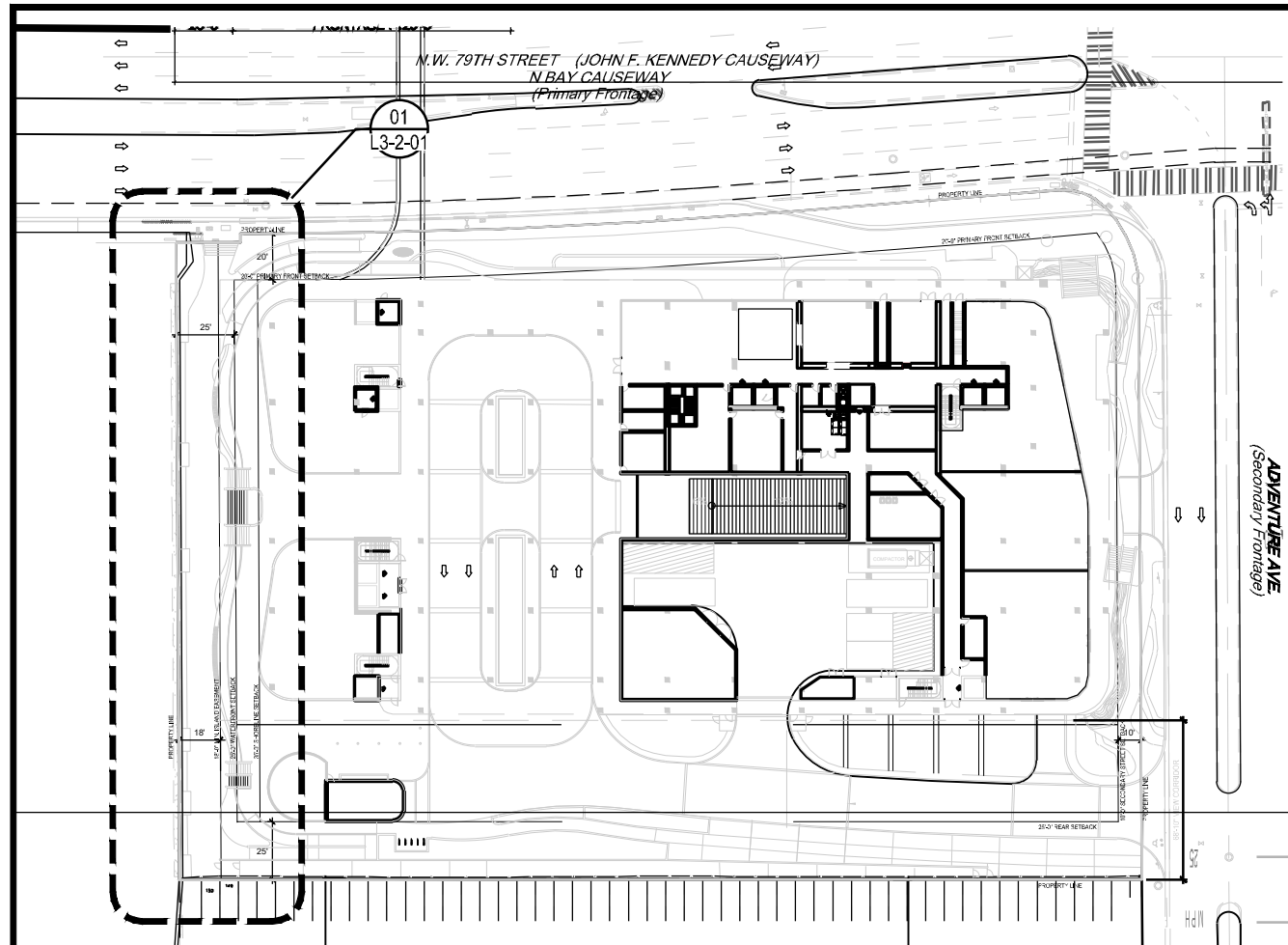
SHORELINE SUBMITTAL

Sheet Title

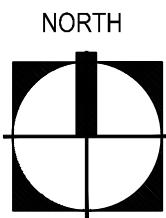
HARDSCAPE PLAN

Sheet Number

L3-1-01



KEY MAP | N.T.S.



01 WATERFRONT PED. PROMENADE PLAN

SCALE - 1" = 20'-0"

LEVEL 2 (F.F.E. +38'-0")

+37'-0"

+35'-0"

+33'-0"

+31'-0"

+29'-0"

+27'-0"

+25'-0"

+23'-0"

+21'-0"

+19'-0"

+17'-0"

+15'-0"

+13'-0"

+11'-0"

+9'-0"

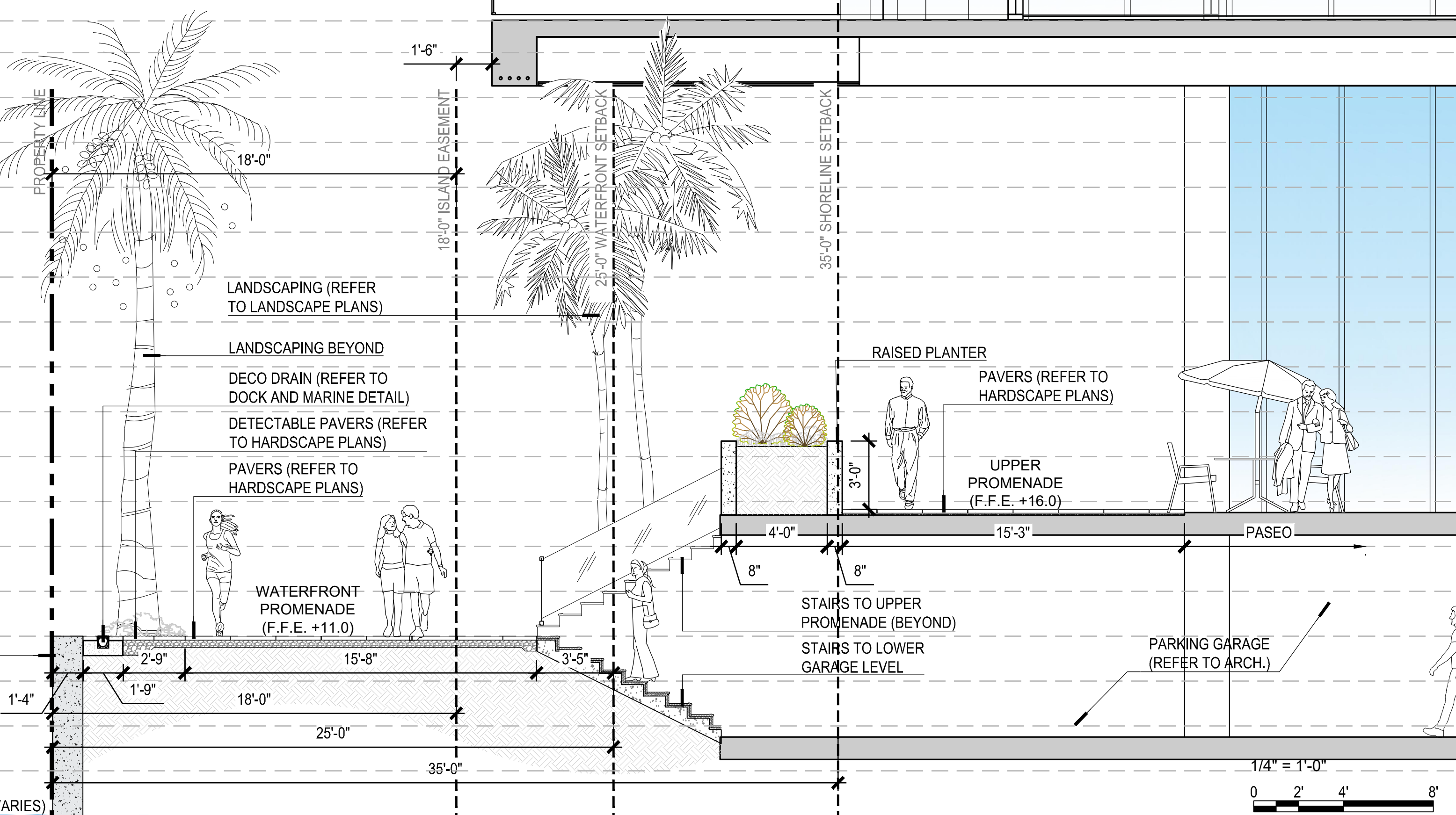
+7'-0"

+5'-0"

+3'-0"

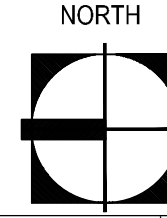
WATER LEVEL (+3.0, VARIES)

SEAWALL



1" = 20'-0"

0 10' 20' 40'



02 PROMENADE SECTION

SCALE - 1/4" = 1'-0"

LEVEL 2 (F.F.E. +38'-0")

+37'-0"

+35'-0"

+33'-0"

+31'-0"

+29'-0"

+27'-0"

+25'-0"

+23'-0"

+21'-0"

+19'-0"

+17'-0"

+15'-0"

+13'-0"

+11'-0"

+9'-0"

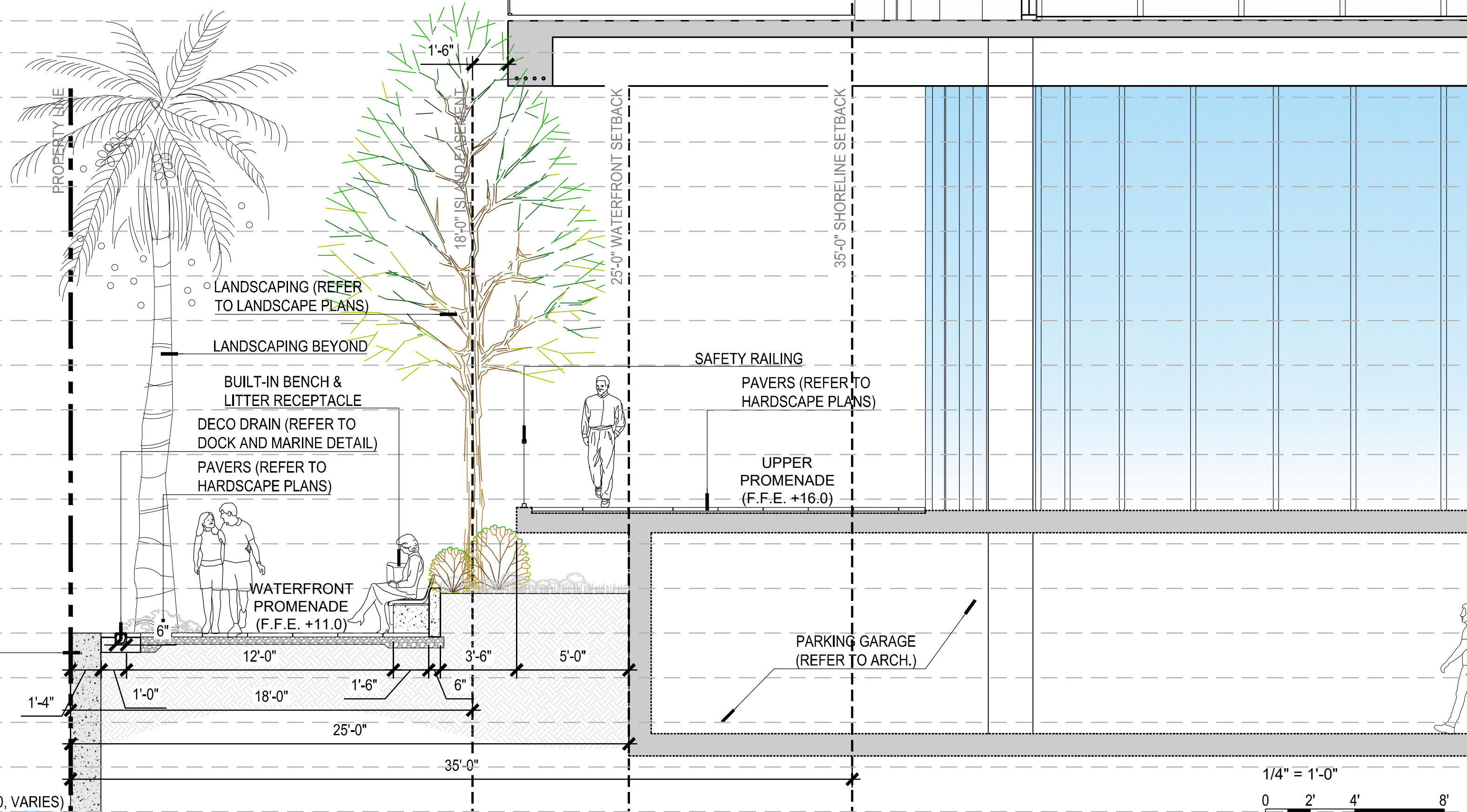
+7'-0"

+5'-0"

+3'-0"

SEAWALL

WATER LEVEL (+3.0, VARIES)



1/4" = 1'-0"

0 2' 4' 8'

03 PROMENADE SECTION

SCALE - 1/4" = 1'-0"

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
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Consultants:

Key Plan

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Seal



Project Phase

SHORELINE SUBMITTAL

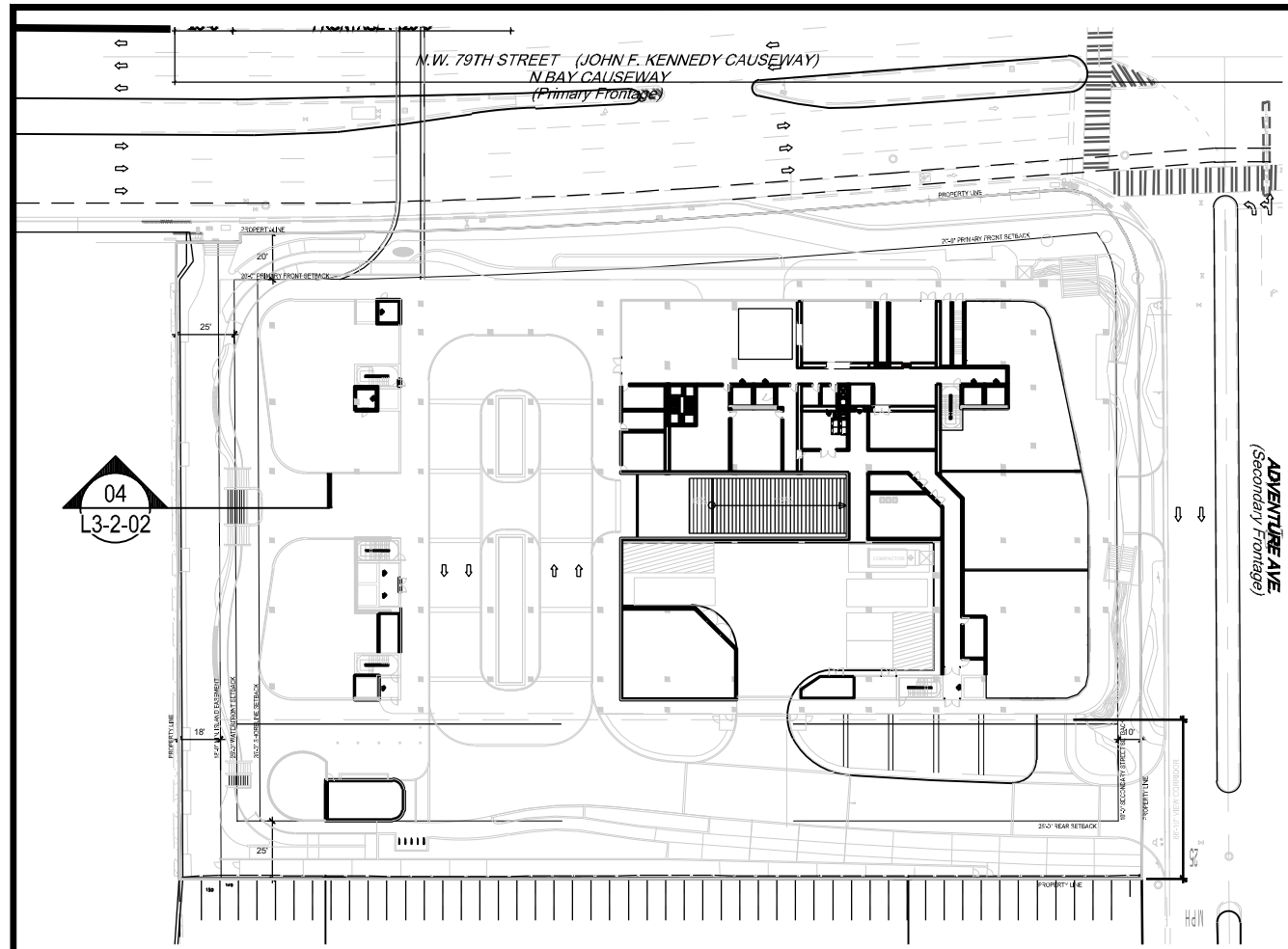
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WATERFRONT PED.
PROMENADE

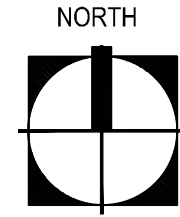
Sheet Number

L3-2-01

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)



KEY MAP | N.T.S.



LEVEL 8 AMENITY (F.F.E. +106'-4")

LEVEL 7

LEVEL 6

LEVEL 5

LEVEL 4 (F.F.E. +57'-4")

LEVEL 3

LEVEL 2 (F.F.E. +38'-0")

+37'-0"

+35'-0"

+33'-0"

+31'-0"

+29'-0"

+27'-0"

+25'-0"

+23'-0"

+21'-0"

+19'-0"

+17'-0"

+15'-0"

+13'-0"

+11'-0"

+9'-0"

+7'-0"

+5'-0"

+3'-0"

WATER LEVEL (+3.0, VARIES)

PROPERTY LINE

18'-0" ISLAND EASEMENT

25'-0" WATERFRONT SETBACK

35'-0" SHORELINE SETBACK

LANDSCAPING (REFER TO LANDSCAPE PLANS)

LANDSCAPING BEYOND

DECO DRAIN (REFER TO DOCK AND MARINE DETAIL)

DETECTABLE PAVERS (REFER TO HARDSCAPE PLANS)

PAVERS (REFER TO HARDSCAPE PLANS)

WATERFRONT PROMENADE (F.F.E. +11.0)

RAISED PLANTER

PAVERS (REFER TO HARDSCAPE PLANS)

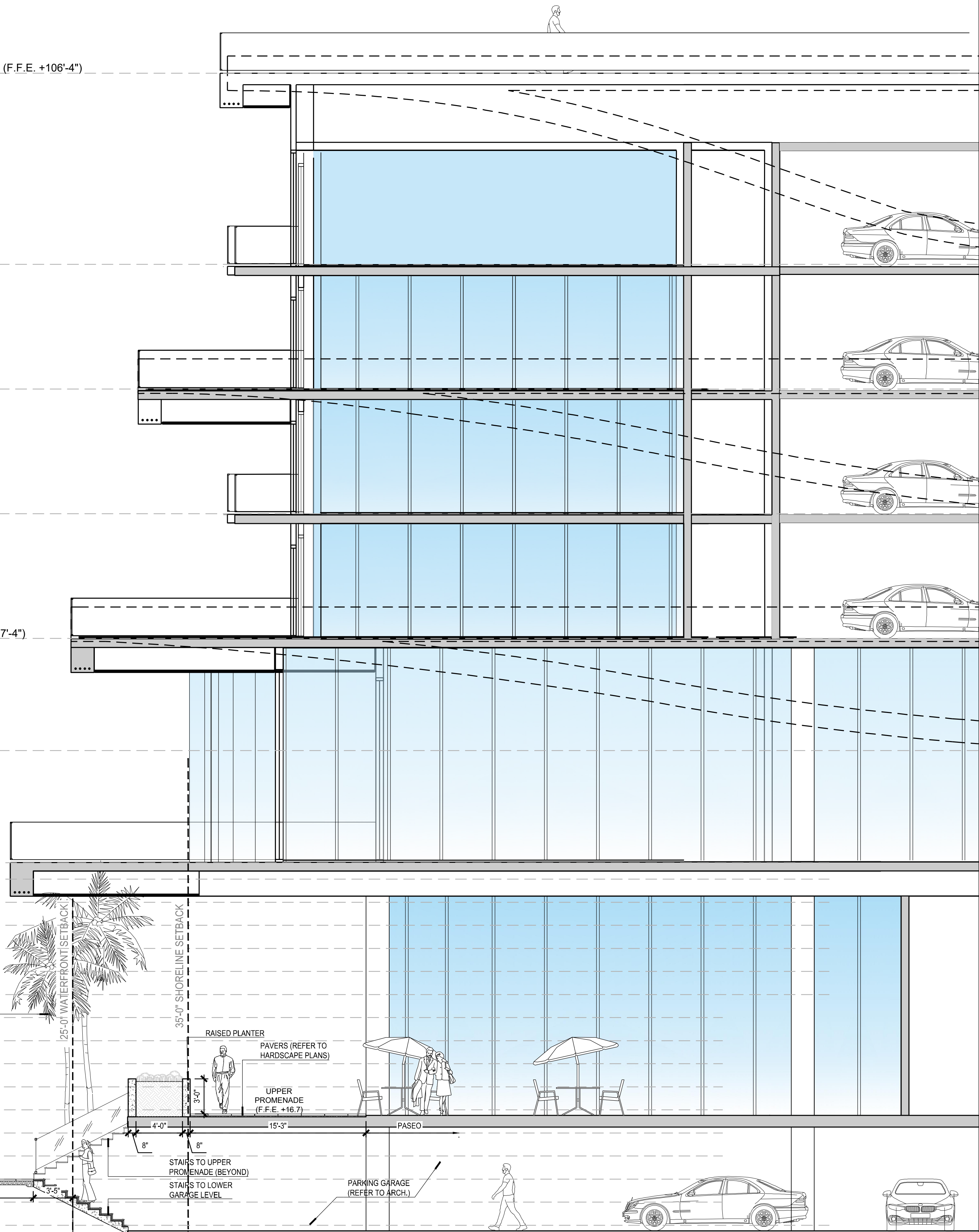
UPPER PROMENADE (F.F.E. +16.7)

PASEO

STAIRS TO UPPER PROMENADE (BEYOND)

STAIRS TO LOWER GARAGE LEVEL

PARKING GARAGE (REFER TO ARCH.)



3/16" = 1'-0"

0 4' 6' 12'

04 WATERFRONT SECTION

SCALE - 1/4" = 1'-0"

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Consultants:

Key Plan

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Date	05/30/2025
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Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000

Seal



Project Phase

SHORELINE SUBMITTAL

Sheet Title

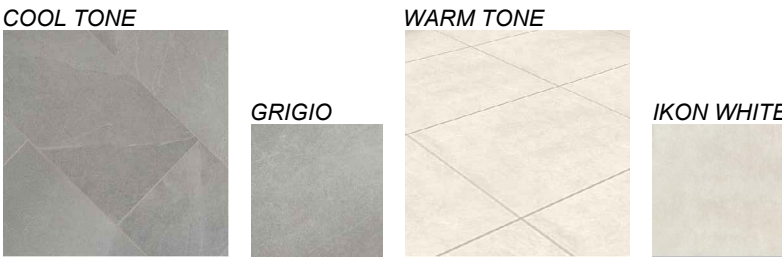
WATERFRONT
PROMENADE - POOL

Sheet Number

L3-2-02

PAVING

PC-01
PEDESTRIAN PAVERS AT BOARDWALK
PORCELAIN PAVERS - TILE AND MARBLE COLLECTION



PC-05
POURED IN PLACE CONCRETE BAND
POURED IN PLACE CONCRETE



PC-08
DETECTABLE PAVERS
CONCRETE DETECTABLE PAVERS



WALL SURFACES

WS-01
SEATWALL
SEATWALL & CAP



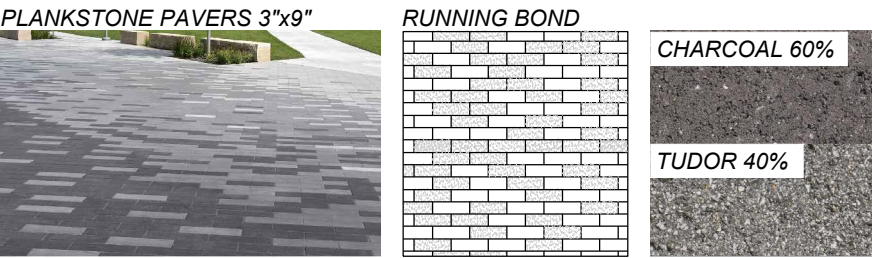
PC-02
POURED IN PLACE CONCRETE WALKWAY
COLOR CONCRETE W/ SHELL OR GLASS AGGREGATES



PC-06
BEACH PEBBLES
BLACK BEACH PEBBLES



PC-03 & PC-04
VEHICULAR PAVER & PAVER BAND
PLANK CONCRETE PAVERS



PC-07
SYNTHETIC LAWN
DOG PARK & LINEAR DOG RUN



HARDSCAPE LEGEND

SYMBOL	DESCRIPTION	DETAIL
PC-01	PEDESTRIAN RATED PAVERS	
PC-02	CONCRETE WALKWAY	
PC-03	VEHICULAR RATED PAVERS	
PC-04	VEHICULAR RATED PAVER BAND	
PC-05	CONCRETE BAND	
PC-06	BEACH PEBBLES	
PC-07	SYNTHETIC LAWN	
PC-08	DETECTABLE PAVERS	
WF-01	WATER FEATURE	
WS-01	SEATWALL	
WS-02	CONCRETE WALL	
WS-03	WOOD SLATS ON CONCRETE WALL	
	DRAIN	

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Consultants:

Key Plan

Rev	Date	Issued for

Date

05/30/2025

Designed By

MH, LDC

Drawn By

LDC

Approved / Checked By

JS

Project Number

SE240000

Seal

REGISTERED LANDSCAPE ARCHITECT
LA 9988932
STATE OF
FLORIDA

Project Phase

SHORELINE SUBMITTAL

Sheet Title

HARDSCAPE IMAGE BOARD

Sheet Number

L3-5-01

WATER FEATURE

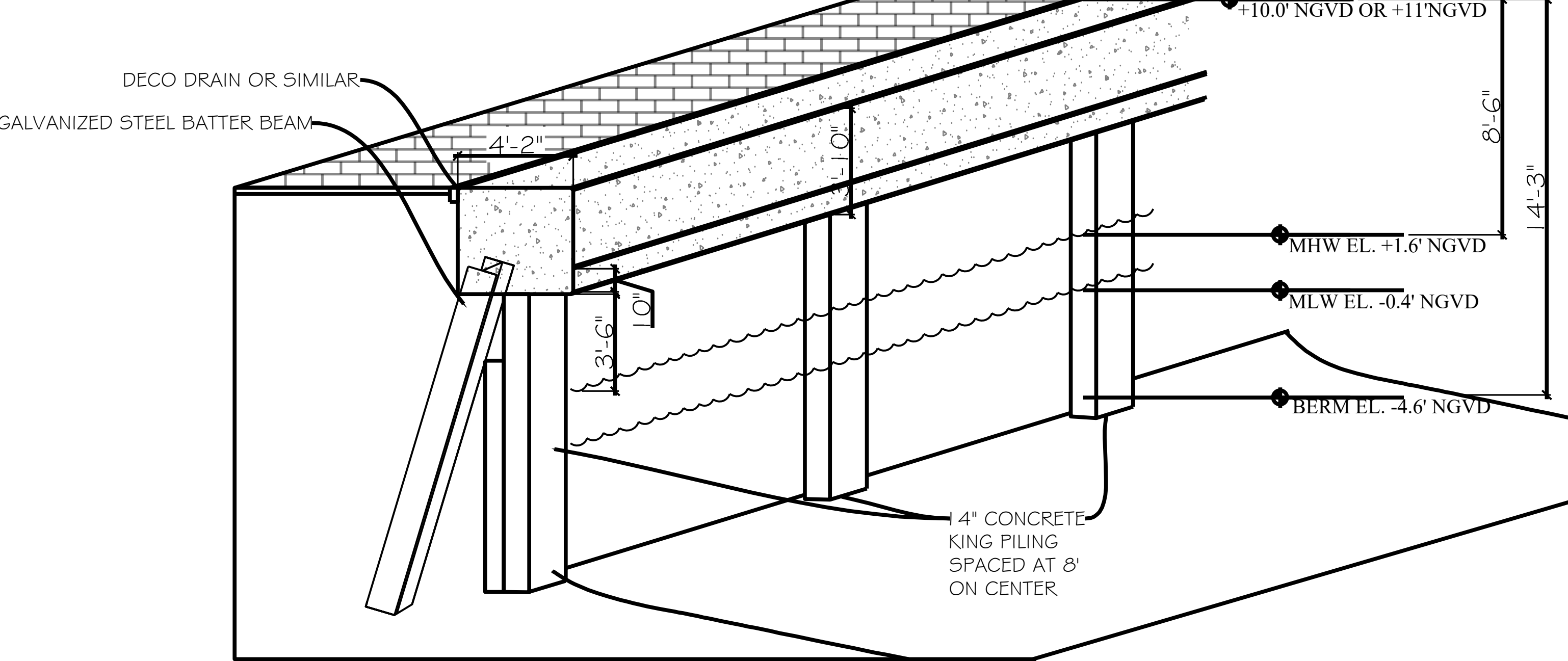
WF-01
WATER FEATURE
WATER FEATURE & SIGNAGE



ADDT'L DOG PARK AMENITIES



SEAWALL DRAIN DETAIL



GENERAL NOTES:

1. PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. THE CONTRACTOR SHALL SUBMIT DATED PHOTOGRAPHS OF ALL PLANT MATERIAL NOT TAGGED BY THE OWNERS REPRESENTATIVE TO THE OWNERS REPRESENTATIVE FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT. ALL PHOTOGRAPHS OF TREES AND PALMS SHALL HAVE A MEASURING DEVICE AND PERSON IN THE PHOTO FOR SCALE. NURSERY SOURCE, HEIGHT, WIDTH AND CALIPER OF PLANT MATERIAL SHALL BE INCLUDED WITH THE PHOTOGRAPH.
2. THE PLANT MATERIAL QUANTITIES SHOWN IN THE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES AND NOTIFYING THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO THE AWARD OF CONTRACT AND COMMENCEMENT OF WORK.
3. THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIALS THAT DO NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN AND REQUIRE THE CONTRACTOR TO REPLACE THE REJECTED MATERIAL WITH MATERIAL MEETING THE SPECIFICATIONS. MAINTENANCE OF REPLACED MATERIAL SHALL CONTINUE UNTIL FINAL ACCEPTANCE.
4. THE OWNERS REPRESENTATIVE MAY ADJUST THE LOCATIONS OF THE PLANT MATERIAL SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
5. NO PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
6. THE INSTALLATION OF ALL PLANT MATERIALS SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND BEAR ALL COSTS RELATED TO THE TESTING OF EXISTING SOILS, PREPARED PLANTING MIXES AND AMENDMENTS.
9. THE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL TO REMAIN. THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN BARRICADES AS DETAILED ON THE DRAWINGS AND AS OUTLINED IN THE DEMOLITION/SITE CLEARING NOTES.
10. THE CONTRACTOR SHALL REFER TO THE GENERAL, FINE GRADING AND HARDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.
11. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING:
 - A. AMERICAN STANDARDS FOR NURSERY STOCK, ASNI Z60.1.
 - B. FLORIDA GRADE NO. 1, FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS LATEST ADDITION.
12. PLANTS SHALL BE SYMMETRICAL AS IS TYPICAL FOR THEIR VARIETY AND SPECIES. THEY SHALL BE FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS.
13. NURSERY GROWN STOCK SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
14. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. HEIGHT AND SPREAD TAKE PRECEDENCE OVER CALIPER AND CONTAINER SIZES.
15. CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS:
 - A. TREES.....2 YEARS.
 - B. SHRUBS....1 YEAR.
 - C. GROUNDCOVERS...6 MONTHS.
16. ALL CONTAINER PLANTS SHALL HAVE ROOTS SUFFICIENTLY DEVELOPED TO HOLD THE SOIL TOGETHER WHEN REMOVED FROM ITS CONTAINER. NO PLANT MATERIAL SHALL BE BOUND TO THE CONTAINER NOR HAVE CIRCULAR ROOTS.
17. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED WHEN THE ROOT BALL HAS BEEN CRACKED OR BROKEN.
18. PLANTS GROWN IN GROW BAGS ARE PROHIBITED.
19. SOD SHALL BE THE SPECIES AS CALLED FOR ON THE DRAWINGS. SOD SHALL BE WELL MATTED WITH HEAVY ROOT DEVELOPMENT AND FREE OF WEEDS, FUNGUS AND OTHER DISEASES.
20. SOD SHALL BE MACHINE CUT TO A COMMERCIAL SIZE WITH A UNIFORM THICKNESS OF 1-1/4 TO 1-1/2 INCH THICKNESS.

SOIL PREPARATION AND SOIL MIX NOTES:

1. PREPARED PLANTING MIX SHALL CONSIST OF THE FOLLOWING:
 - A. TREES/SHRUBS/GROUNDCOVER.....70% CLEAN BUILDERS SAND, 30% TOPSOIL/PEAT MIX.
 - B. PALMS.....90% CLEAN BUILDERS SAND, 10% TOPSOIL/PEAT MIX.
 - C. ANNUALS.....50% CLEAN BUILDERS SAND, 25% PEAT, 25% VERMICULITE.
2. PREPARED PLANTING MIX FOR LANDSCAPE ON STRUCTURE SHALL CONSIST OF THE FOLLOWING:
 - A. 20% CLEAN BUILDERS SAND, 30% PEAT, 30% RICE ROCK, 20% PERLITE.
3. THE COMPOSITION OF THE PREPARED PLANTING MIX MAY BE MODIFIED BASED ON RECOMMENDATIONS FROM THE SOIL TEST(S).
4. TOPSOIL SHALL BE NATURAL SURFACE SOIL, FERTILE, FRIABLE AGRICULTURAL SOIL FREE OF WEEDS WITH 4-6% ORGANIC MATTER, A PH OF 5.5 TO 6.5 AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
5. EXISTING SOIL MAY BE SUBSTITUTED FOR TOPSOIL AND/OR SAND BASED ON THE RESULTS OF THE SOIL TEST(S).
6. PEAT SHALL BE ORGANIC PEAT SUITABLE FOR HORTICULTURAL PURPOSES. PEAT SHALL BE SHREDDED WITH PIECES NO LARGER THAN ONE-HALF INCH (1/2") IN DIAMETER. PEAT SHALL HAVE A PH OF 4.5 TO 6.5 AND SHALL BE STERILIZED TO MAKE IT FREE OF WEEDS AND NEMATODES.
7. COMPOSTED ORGANICS SHALL BE WOOD SHAVINGS, PINE BARK, GREEN WASTES OR CLEAN AGRICULTURAL WASTES, WELL-ROTTED AND SCREENED THROUGH A ONE-HALF INCH (1/2") SCREEN.
8. COMPONENTS OF THE PREPARED PLANTING MIX SHALL BE BLENDED OUTSIDE OF THE PLANTING BEDS. THE CONTRACTOR SHALL SUBMIT A 2-GALLON SAMPLE TO A CERTIFIED SOILS TEST LABORATORY FOR ANALYSIS. BASED ON THE LABORATORY ANALYSIS THE CONTRACTOR SHALL APPLY SOIL AMENDMENTS AS NECESSARY TO ADJUST THE PREPARED PLANTING MIX TO MEET THE FOLLOWING REQUIREMENTS:
 - A. PH VALUE BETWEEN 5.5 AND 6.6.
 - B. ORGANIC MATTER CONTENT BETWEEN 5% AND 10% OF TOTAL DRY WEIGHT.
 - C. NITROGEN 5% AVERAGE OF OF ORGANIC MATTER.
 - D. PHOSPHORUS 0.05% AVERAGE OF TOTAL SOIL CONTENT.
 - E. POTASSIUM 1.2% AVERAGE OF TOTAL SOIL CONTENT.
9. FERTILIZER FOR PLANT MATERIALS SHALL BE AS FOLLOWS:
 - A. PALMS.....13-3-13 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.
 - B. TREES..... 8-6-6 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.

SOIL PREPARATION AND SOIL MIX NOTES: (cont.)

- C. SHRUBS/GROUNDCOVERS.....8-10-10 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 100 SQ. FT.
 - D. LAWNS.....16-4-8 PLUS MINOR ELEMENTS-SLOW RELEASE. 1LB. FERTILIZER PER 1,000 SQ. FT.
 - E. ENDO AND ECTOMYCORRIZAL INOCULANTS.....DIE HARD OR OWNERS REPRESENTATIVE APPROVED EQUAL.
 - F. ANTI-DESICCANT.....WILT-PRUF OR OWNERS REPRESENTATIVE APPROVED EQUAL.
10. ALL FERTILIZERS SHALL BE MANUFACTURED FROM QUALITY MATERIALS, FREE FROM IMPURITIES AND SHALL MEET RECOGNIZED STANDARDS FOR EFFECTIVENESS.
 11. ALL FERTILIZERS SHALL BE FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
 12. ALL FERTILIZER SHALL BE DELIVERED TO THE SITE IN CONTAINERS, EACH FULLY LABELED CONFORMING TO APPLICABLE STATE FERTILIZER LAWS AND BEARING THE GRADE AND TRADE NAME OF THE PRODUCER.
 13. AFTER ROUGH GRADING HAS BEEN COMPLETED ONE SAMPLE OF EXISTING SOIL PER 5,000 SQ. FT. OF LANDSCAPE AREAS SHALL BE SUBMITTED TO A CERTIFIED SOILS TESTING LABORATORY FOR ANALYSIS AS TO THE SUITABILITY OF THE EXISTING SOIL TO MEET THE REQUIREMENT OF THE PREPARED PLANTING MIX.
 14. SOIL SAMPLES SHALL BE TAKEN TO A DEPTH OF TWENTY-FOUR INCHES (24").
 15. SHOULD TEST RESULTS INDICATE THAT THE EXISTING SOILS DO NOT FALL WITHIN THE REQUIREMENS FOR PREPARED PLANTING MIX THE CONTRACTOR SHALL:
 - A. SUBMIT TO THE OWNERS REPRESENTATIVE FOR APPROVAL AN AMENDED PLANTING MIX ALONG WITH RECOMMENDATION FOR ORGANIC MATERIALS, FERTILIZERS AND/OR OTHER MATERIALS FOUND NECESSARY TO ASSURE OPTIMUM PLANT GROWTH. PROPOSED REVISIONS SHALL INCLUDE METHODOLOGY FOR INCORPORATING THE AMENDMENTS TO A DEPTH OF TWENTY-FOUR INCHES (24"). ANY RECOMMENDED REVISIONS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF THE AMENDED PLANTING MIX....OR
 - B. EXCAVATE LANDSCAPE BEDS CONTAINING NONCOMPLIANT EXISTING SOILS TO A DEPTH OF 24 INCHES (24") AND BACKFILL WITH PREPARED PLANTING MIX AS SPECIFIED. PREPARED PLANTING MIX SHALL BE PLACED AND COMPACTED TO 80% STANDARD PROCTOR IN TWELVE INCH (12") LIFTS.
 16. EXISTING SOILS MAY BE USED IN EITHER THE PREPARED OR AMENDED PLANTING MIXES AS DETERMINED BY THE SOIL TEST RECOMMENDATIONS.
 17. EXCAVATED SOIL MAY BE USED FOR ONSITE FILL IF IT COMPLIES WITH GEOTECHNICAL REQUIREMENTS.
 18. SUBMITTALS:
 - A. RESULTS OF SOILS TESTS INCLUDING CONTENT/MIX ANALYSIS AND AMENDMENT RECOMMENDATIONS.
 - B. CERTIFICATION THAT PREPARED AND/OR AMENDED PLANTING MIX MEETS REQUIREMENTS.
 - C. LITERATURE AND PROPOSED APPLICATION RATES FOR SOIL AMENDMENTS, HERBICIDES AND STERILIZERS.

PLANTING NOTES:

1. PRIOR TO THE INSTALLATION OF PLANT MATERIALS, THE CONTRACTOR SHALL CONFIRM IN WRITING TO THE OWNERS REPRESENTATIVE THAT THE FINISHED GRADES IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED CONFORM TO THE PROPOSED GRADES NOTED ON THE GRADING PLANS.
2. PLANTING SHALL NOT COMMENCE UNTIL IRRIGATION HAS BEEN INSTALLED AND IS OPERATIONAL. TREES MAY BE INSTALLED PRIOR TO THE INSTALLATION OF IRRIGATION PROVIDED THAT A HAND WATERING SCHEDULE IS SUBMITTED TO AND APPROVED BY THE OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL SUBMIT WEED CONTROL PRODUCTS THAT DO NOT INCLUDE GLYPHOSATE. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY. DO NOT APPLY WITHIN ROOT ZONES OF EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO ENSURE TOTAL WEED ERADICATION PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. CONTRACTOR SHALL CONFIRM THAT ALL ORGANICS, SOD, WEEDS, ROOTS AND DEBRIS HAVE BEEN REMOVED TO A DEPTH OF 12 INCHES FROM ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED. ALL PAVEMENT AND PAVEMENT BASE MATERIAL SHALL BE REMOVED COMPLETELY IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED.
5. ANY DEPRESSIONS OR EXCAVATIONS BELOW THE APPROVED FINISHED GRADES CREATED FOR OR BY THE REMOVAL OF SUCH OBJECTS SHALL BE REFILLED WITH CLEAN COARSE SAND AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING GROUND.
6. THE CONTRACTOR SHALL PAINT THE OUTLINE OF EACH SHRUB AND GROUNDCOVER BED AND STAKE THE LOCATION OF ALL TREES/PALMS FOR APPROVAL OF THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
7. TREE/PALM PITS SHALL BE TESTED FOR VERTICAL DRAINAGE BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF MORE THAN 6 INCHES OF WATER IN 1 HOUR SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR CORRECTION OF SUCH CONDITIONS BEFORE PROCEEDING WITH INSTALLATION.
8. UNIFORMLY APPLY REQUIRED AMENDMENTS TO AREAS TO RECEIVE SOD AND CULTIVATE BY MECHANICAL TILLING INTO THE TOP 6 INCHES OF SOIL.
9. AREAS TO RECEIVE SOD SHALL BE GRADED TO LEVEL OUT ALL UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM TILLAGE, FERTILIZING OR OTHER OPERATIONS. THE RESULTING SURFACE SHALL BE ROLLED WITH THE RESULTING GRADE TO BE NO HIGHER THAN THE ADJACENT PAVING OR OTHER GRADE ELEMENTS AFTER SOD HAS BEEN INSTALLED.
10. PLANTING BEDS SHALL THEN BE FINE GRADED TO A SMOOTH AND EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ELIMINATING ANY DEPRESSIONS WHICH MAY COLLECT WATER.
11. "SURFLAN" OR OWNER REPRESENTATIVE APPROVED EQUAL PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDED RATE.

PLANTING NOTES: (cont.)

12. ALL PLANT PITS SHALL BE EXCAVATED TO A WIDTH AND DEPTH AS INDICATED ON THE DRAWINGS.
13. PLANT MATERIALS SHALL BE CENTERED IN THEIR PITS, FACED FOR BEST EFFECT AND SET PLUMB FOR BACKFILLING.
14. SHRUB/GROUNDCOVER PLANTINGS SHOWN IN MASS PLANTING BEDS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION. SEE DRAWINGS FOR TRIANGULAR SPACING DETAIL AND PLANT MATERIAL LIST FOR ON-CENTER PLANT SPACING.
15. BALLED AND BURLAPPED PLANTS SHALL HAVE THE BURLAP, STRINGS, STRAPS AND WIRE CAGES REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
16. PLACE BACKFILL IN PLANT PITS IN LAYERS NOT TO EXCEED 1/3 THE DEPTH OF THE ROOT BALL AND TAMP FIRMLY IN PLACE. PRIOR TO PLACING THE FINAL LAYER, THE PIT SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE.
17. AFTER SETTLEMENT THE CROWN OF THE ROOT BALL SHALL BE ABOVE FINISHED GRADE AS INDICATED ON THE DRAWINGS. PLANTS WITH ROOT BALLS SET BELOW INDICATED HEIGHTS WILL BE REQUIRED TO BE REMOVED AND REPLANTED.
18. TREES/PALMS SHALL BE STAKED ACCORDING TO THE DETAILS ON THE DRAWINGS.
19. MULCH AS DESIGNATED ON THE DRAWINGS SHALL BE PLACED THROUGHOUT ALL PLANTING AREAS.
20. NO MULCH SHALL BE PLACED OVER SHRUB/GROUNDCOVER ROOT BALLS OR WITHIN 4" OF TREE OR PALM TRUNKS.
21. SOD SHALL BE PLACED WITH STAGGERED BUTT TIGHT JOINTS. THERE SHALL BE NO VOIDS OR OVERLAPPING OF EDGES BETWEEN SOD PIECES.
22. SOD SHALL BE ROLLED IMMEDIATELY AFTER BEING PLACED. CLEAN BUILDERS' SAND SHALL BE USED TO FILL ANY RESULTING VOIDS OR UNEVENNESS IN THE SOD SURFACE. ANY AREAS REQUIRING EXCESSIVE TOP-DRESSING SHALL HAVE THE SOD REMOVED, THE AREA REGRADED AND RE-SODDED.
23. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS AND/OR SPECIFICATIONS FOR ADDITIONAL PLANTING INSTRUCTIONS.

POST PLANTING NOTES :

1. MAINTENANCE:
 - A. DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL.
 - B. MAINTENANCE DURING THE WORK PERIOD PRIOR TO THE SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, CULTIVATING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL, REPAIRING/TIGHTENING OF STAKES AND GUYS, RESETTNG PLANTS TO PROPER GRADES AND UPRIGHT POSITION AND FURNISHING AND APPLYING SUCH SPRAYS AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
 - C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING ALL PLANT MATERIAL AS REQUIRED TO SUPPLEMENT IRRIGATION AND RAINFALL IN ORDER TO ENSURE PLANT MATERIAL ESTABLISHMENT.
2. SUBSTANTIAL COMPLETION ACCEPTANCE:
 - A. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
 - B. FOR THE PURPOSE OF ACCEPTANCE ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, UNDAMAGED, FREE OF WEEDS AND DISEASE, AND EXHIBITING EVIDENCE OF ESTABLISHING NEW ROOTS. PLANT MATERIAL DEEMED UNACCEPTABLE SHALL BE REMOVED AND REPLACED.
 - C. THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANTING SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS IN WRITING THAT ALL WORK RELATED TO PLANTING IS COMPLETE.
3. WARRANTY:
 - A. ALL PLANT MATERIAL SHALL BE WARRANTED IN WRITING BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION . REPLACEMENT OF PLANT MATERIAL DURING THE WARRANTY PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL HAVE THE SAME WARRANTY PERIOD OF ONE (1) YEAR FROM DATE OF REPLACEMENT.

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL.: 954.524.3530

Consultants:

Key Plan

Rev	Date	Issued for

Date05/30/2025


Designed ByMH, LDC

Drawn ByLDC

Approved / Checked ByJS

Project NumberSE240000

Seal



Project Phase

SHORELINE SUBMITTAL

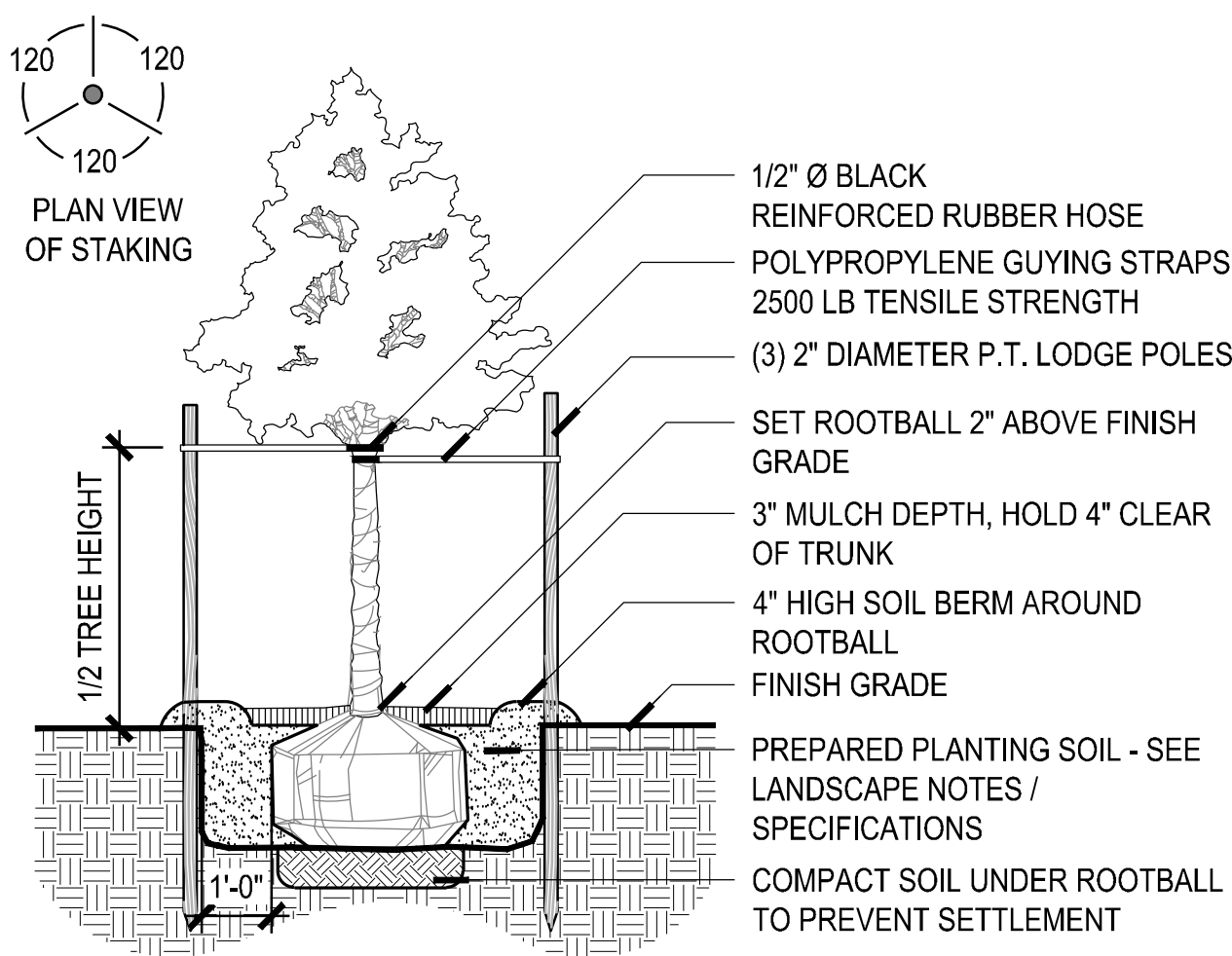
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PLANTING NOTES

Sheet Number

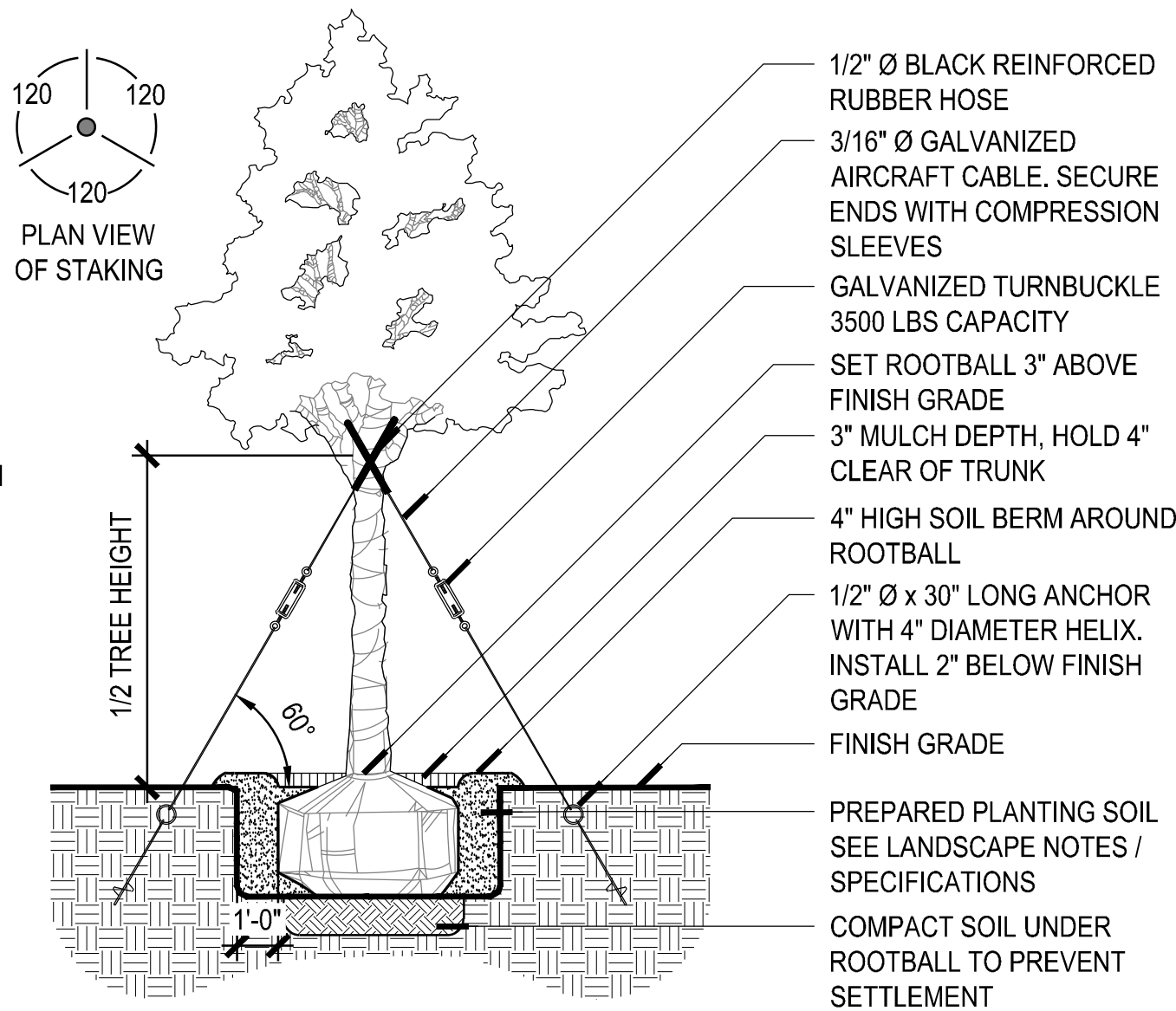
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ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)



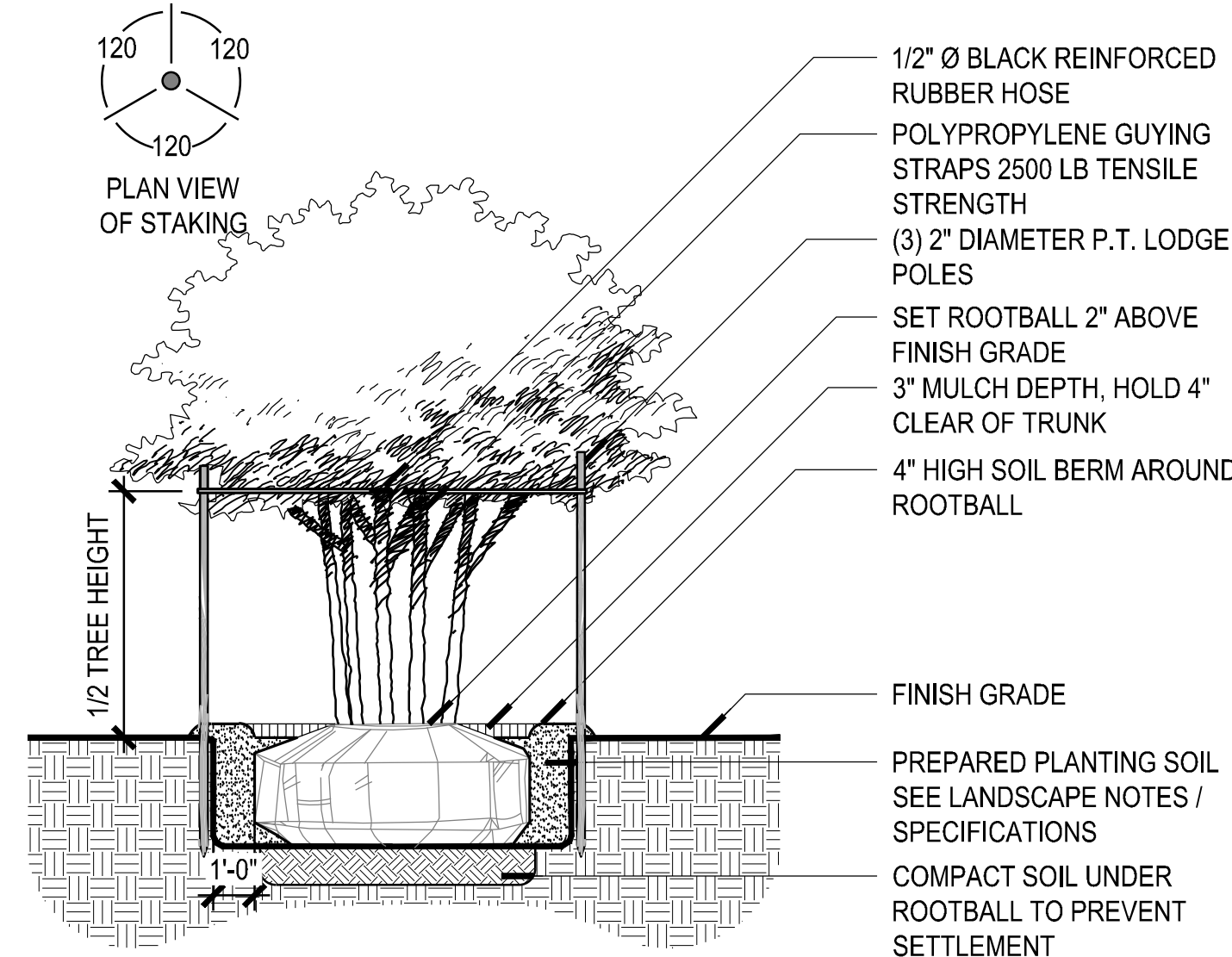
NOTE:

- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)
- ALL TREES TO BE SET PLUMB IN PLANTING PIT



NOTE:

- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION
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1 TREE STAKING LESS THAN 3IN CALIPER

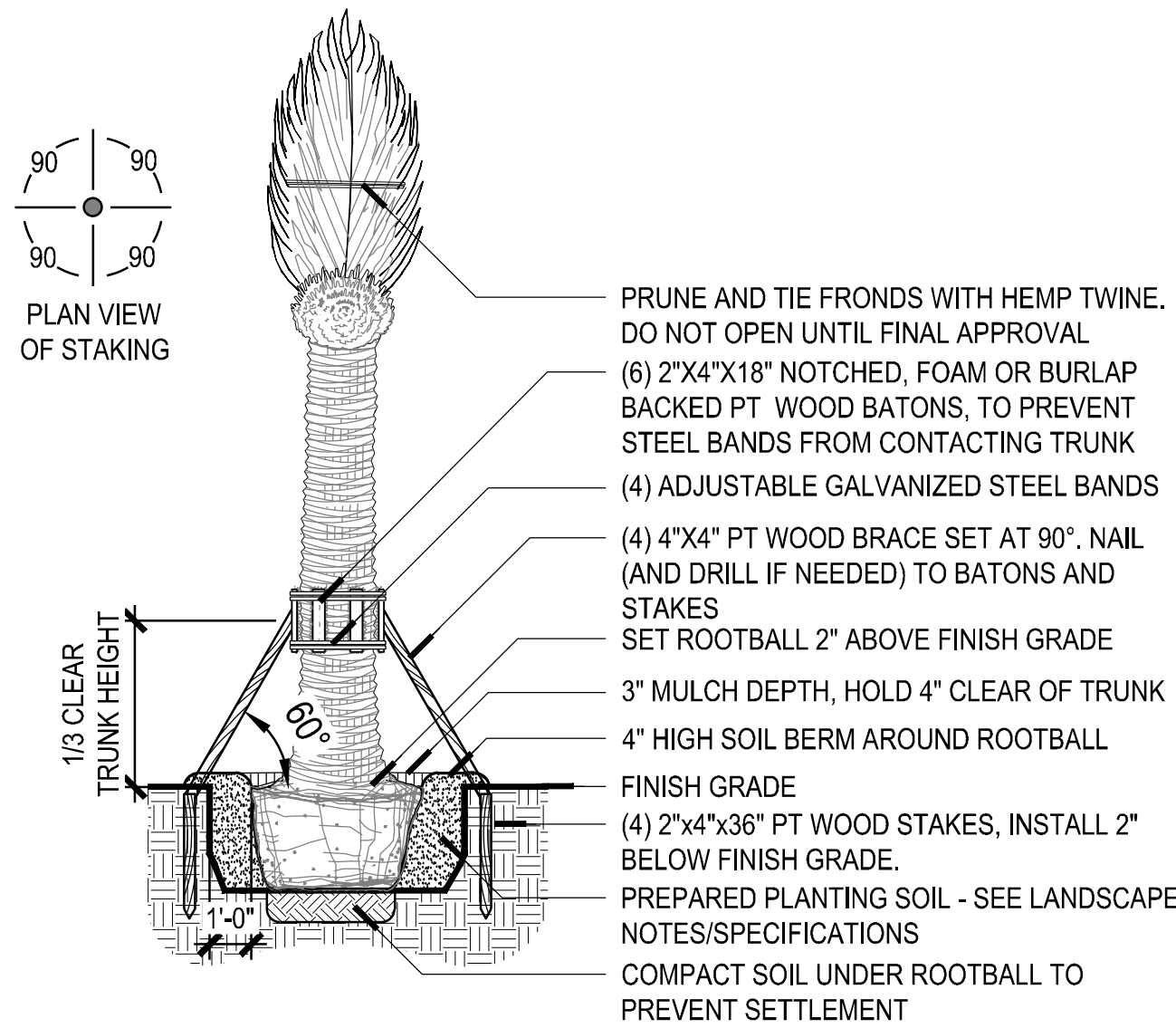
SCALE - NTS

2 TREE STAKING 3-7 IN CALIPER-CABLE

SCALE - NTS

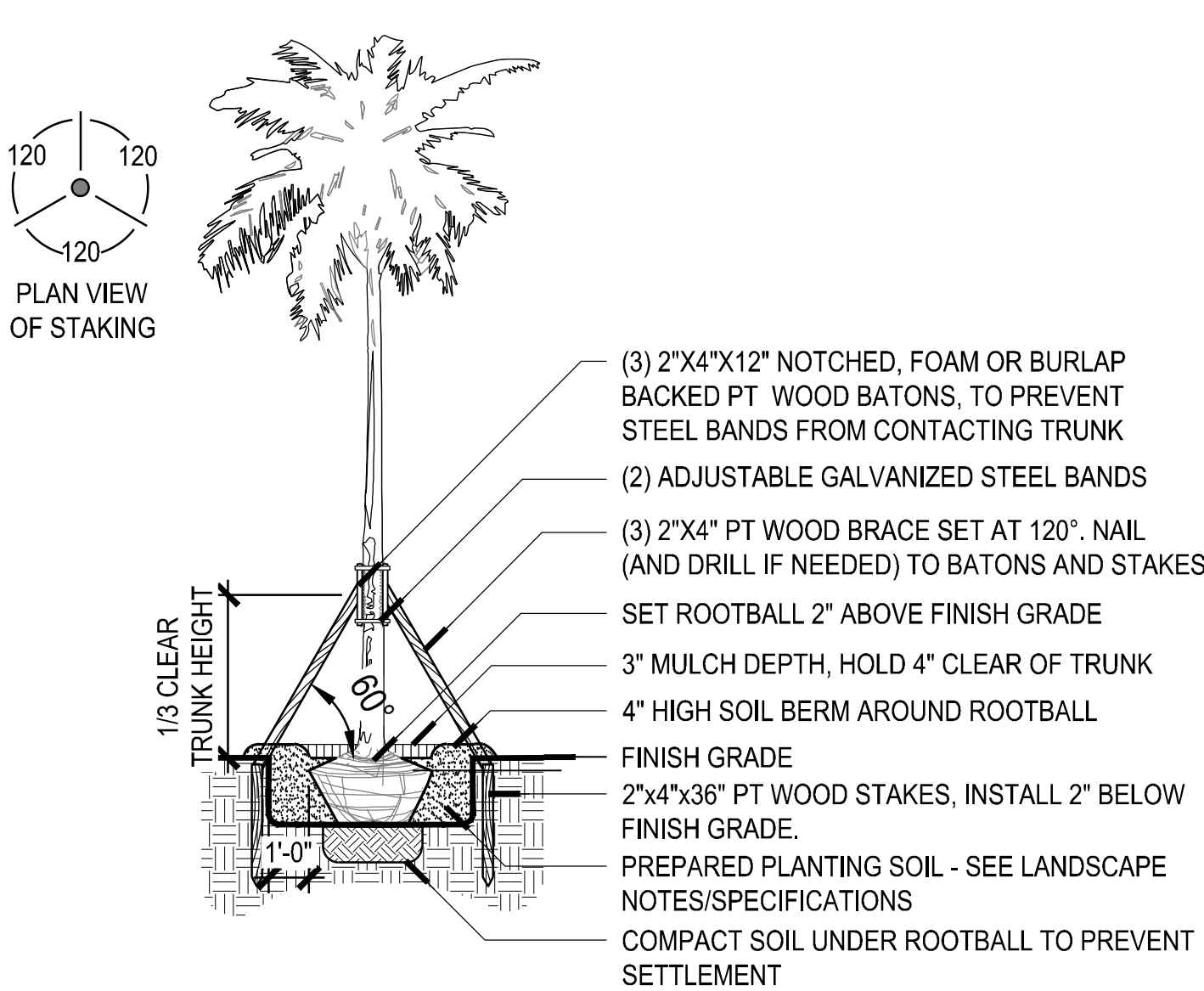
3 TREE STAKING MULTI-STEM TREE

SCALE - NTS



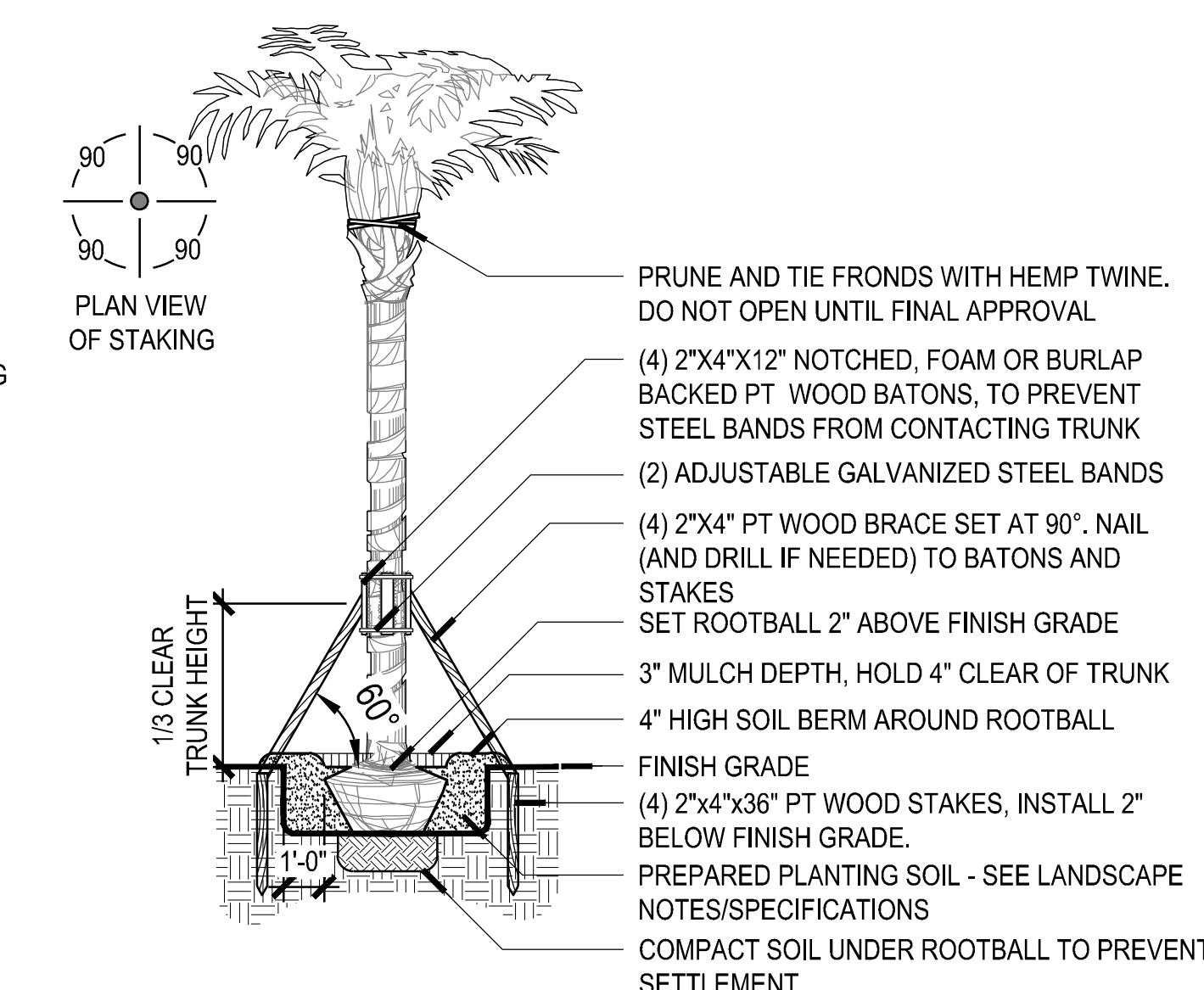
NOTE:

- CONTRACTOR TO STAKE LOCATION OF PALMS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)
- ALL PALMS TO BE SET PLUMB IN PLANTING PIT



NOTE:

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- ALL PALMS TO BE SET PLUMB IN PLANTING PIT

4 PALM STAKING: SPECIMEN PALM

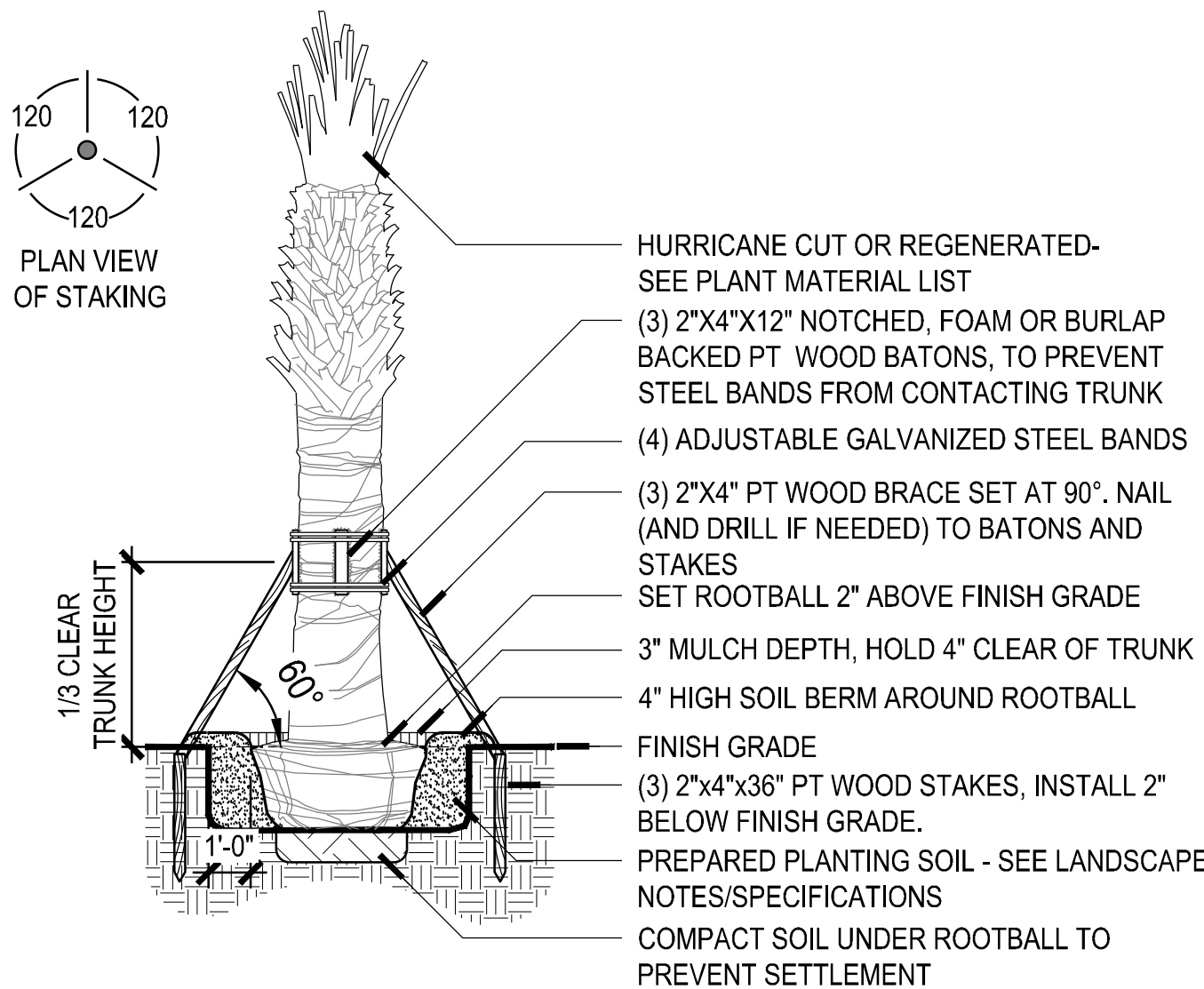
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5 PALM STAKING SMALL

SCALE - NTS

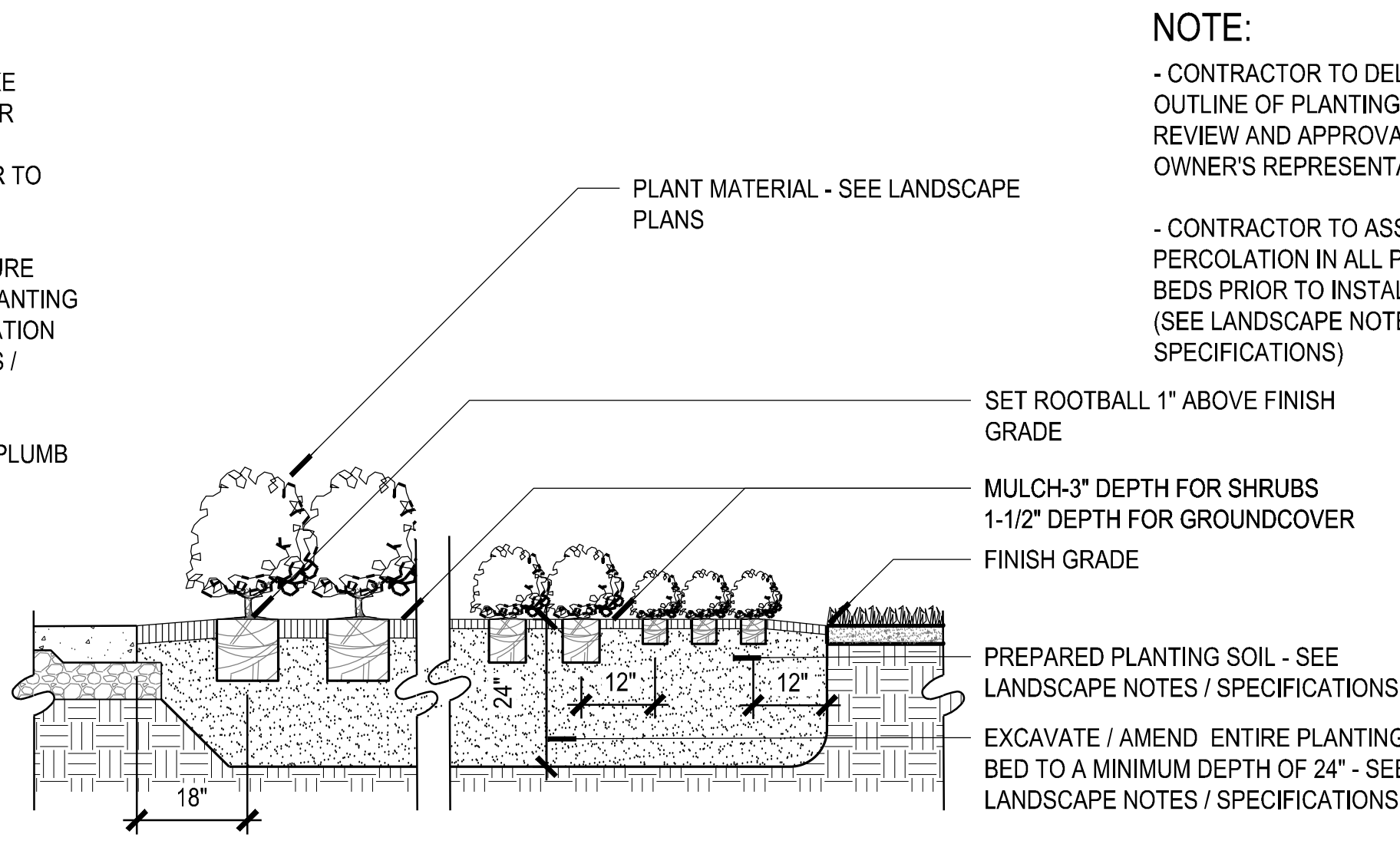
6 PALM STAKING-MEDIUM

SCALE - NTS



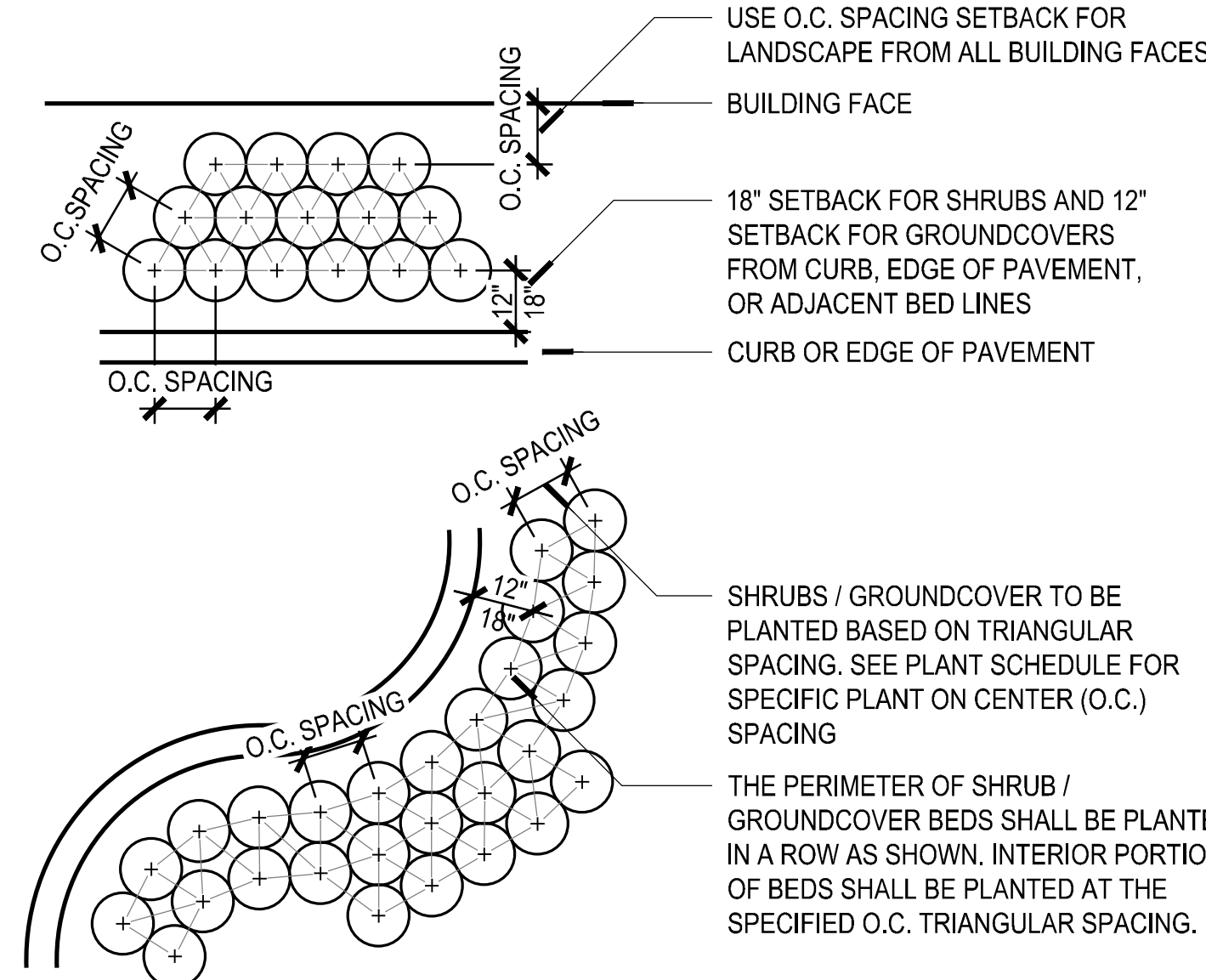
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- ALL PALMS TO BE SET PLUMB IN PLANTING PIT



NOTE:

- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)



NOTE:

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7 SABAL PALM STAKING

SCALE - NTS

8 SHRUB GROUNDCOVER SPACING

SCALE - NTS

9 SHRUB GROUNDCOVER SPACING PLAN

SCALE - NTS

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Consultants:

Key Plan

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Designed By	MH, LDC
Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000



Project Phase

SHORELINE SUBMITTAL

Sheet Title

PLANTING DETAILS

Sheet Number

L6-2-02

TREES



GUMBO LIMBO
Bursera simaruba



BRIDAL VEIL TREE
Caesalpinia granadillo



GREEN BUTTONWOOD
Conocarpus erectus



CAPE MYRTLE
Lagerstroemia indica



GLOSSY PRIVET
Ligustrum lucidum



SOUTHERN LIVE OAK
Quercus virginiana

PALMS



SYLVESTER DATE
Phoenix sylvester



ROYAL PALM
Roystonea regia



FLORIDA THATCH PALM
Thrinax radiata



MONTGOMERY PALM
Veitchia montgomeryana

SHRUBS



ORANGE BROMELIAD
Aechmea blanchetiana



RED SISTER TI PLANT
Cordyline fruticosa 'Red Sister'



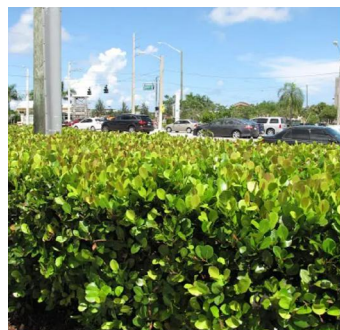
QUEEN EMMA CRINUM LILY
Crinum augustum 'Queen Emma'



ANDERSON CRAPE HIBISCUS
Hibiscus x 'Anderson Crape'



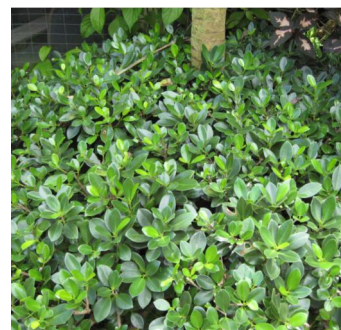
YESTERDAY, TODAY, TOMORROW
Brunfelsia grandiflora



HORIZONTAL COCOPLUM
Chrysobalanus icaco 'Horizontalis'



GOLD MOUND DEWDROP
Duranta erecta 'Gold Mound'



GREEN ISLAND FICUS
Ficus microcarpa



CREEPING FIG
Ficus pumila



EVERGREEN GIANT LIRIOPE
Liriope muscari 'Evergreen Giant'



PINK MUHLY GRASS
Muhlenbergia capillaris



SELLOUM PHILODENDRON
Philodendron selloum



VARIEGATED SCHEFFLERA
Schefflera arboricola 'Trinette'



CARDBOARD PALM
Zamia furfuracea

PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	ORIGIN	CAL
TREES								
	BS	10	Bursera simaruba	Gumbo Limbo	F.G.	14' HT. X 5' SPR. SINGLE TRUNK, FULL	Native	4"-5"
	CG2	3	Caesalpinia granadillo	Bridal Veil Tree	F.G.	14' Ht. x 6' Sprd.	Non-native	
	CE	2	Conocarpus erectus	Green Buttonwood	F.G.	16' HT, 6" SPR. SINGLE	Native	6"-8"
	LI	4	Lagerstroemia indica	Crape Myrtle	Triple Trunk	12' Hgt. x 5' Spd.	Non-native	3"-4"
	LL	14	Ligustrum lucidum	Glossy Privet	Triple Trunk	12' Hgt. x 5' Spd.	Non-native	3"-4"
	QV	6	Quercus virginiana	Southern Live Oak	F.G.	16' HT, 6" SPR. SINGLE	Native	6"-8"
PALMS								
	PSX	13	Phoenix sylvester	Sylvester Date Palm	F.G.	25' HT, 7" GW MIN.	Non-native	
	ROX	23	Roystonea regia	Royal Palm	F.G.	25'-28' O.A.	Native	
	TRX	14	Thrinax radiata	Florida Thatch Palm	Triple Trunk	10' Hgt. x 5' Spd.	Native	
	VOX	13	Veitchia montgomeryana	Montgomery Palm	FG	14'-16' O.A. HT	Non-native	

PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	ORIGIN
SHRUBS								
	AB	15	Aechmea blanchetiana	Orange Bromeliad	7 gal	3' Ht. / full	30" O.C.	Non-Native
	CR2	5	Cordyline fruticosa 'Red Sister'	Red Sister Ti Plant	7 gal	4' O.A.	30" O.C.	Non-Native
	CQ	2	Crinum augustum 'Queen Emma'	Queen Emma Crinum Lily	7 gal	3' Ht. / full	36" O.C.	Non-Native
	HA	2	Hibiscus x 'Anderson Crape'	Anderson Crape Hibiscus	15 gal	6' Ht		Non-Native
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACE	ORIGIN
SHRUB AREAS								
	BRU	113	Brunfelsia grandiflora	Yesterday, Today, and Tomorrow	3 gal	18" HT X 18" SPD	18" O.C.	Non-Native
	CHH	34	Chrysobalanus icaco 'Horizontalis'	Horizontal Coco Plum	3 gal	18" HT, 18" SPR	18" O.C.	Native
	DUE	231	Duranta erecta 'Gold Mound'	Gold Mound Dewdrops	3 gal	18" HT X 18" SPD	18" O.C.	Non-Native
	FIM	2 569	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	16" HT	15" O.C.	Non-Native
	FIP	27	Ficus pumila	Creeping Fig	1 gal	24" Ht/Support	12" O.C.	Non-Native
	LIR	861	Liriope Muscari 'Evergreen Giant'	Evergreen Giant Border Grass	3 gal	16" HT	15" O.C.	Non-Native
	MUH	154	Muhlenbergia capillaris	Pink Muhly Grass	7 gal	36"HT x 30"SPRD	30" O.C.	Native
	PHS	329	Philodendron selloum	Selloum Philodendron	3 gal	3' Ht x 30" Spr	36 " O.C.	Non-Native
	SCA-2	96	Schefflera arboricola 'Trinette'	Trinette Variegated Schefflera	3 gal	24" HT, 24" SPR	24" O.C.	Non-Native
	ZAF	66	Zamia furfuracea	Cardboard Palm	7 gal	30" HT x 24" SP - FULL	24" O.C.	Native

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



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URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Consultants:

Key Plan

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Project Number	SE240000

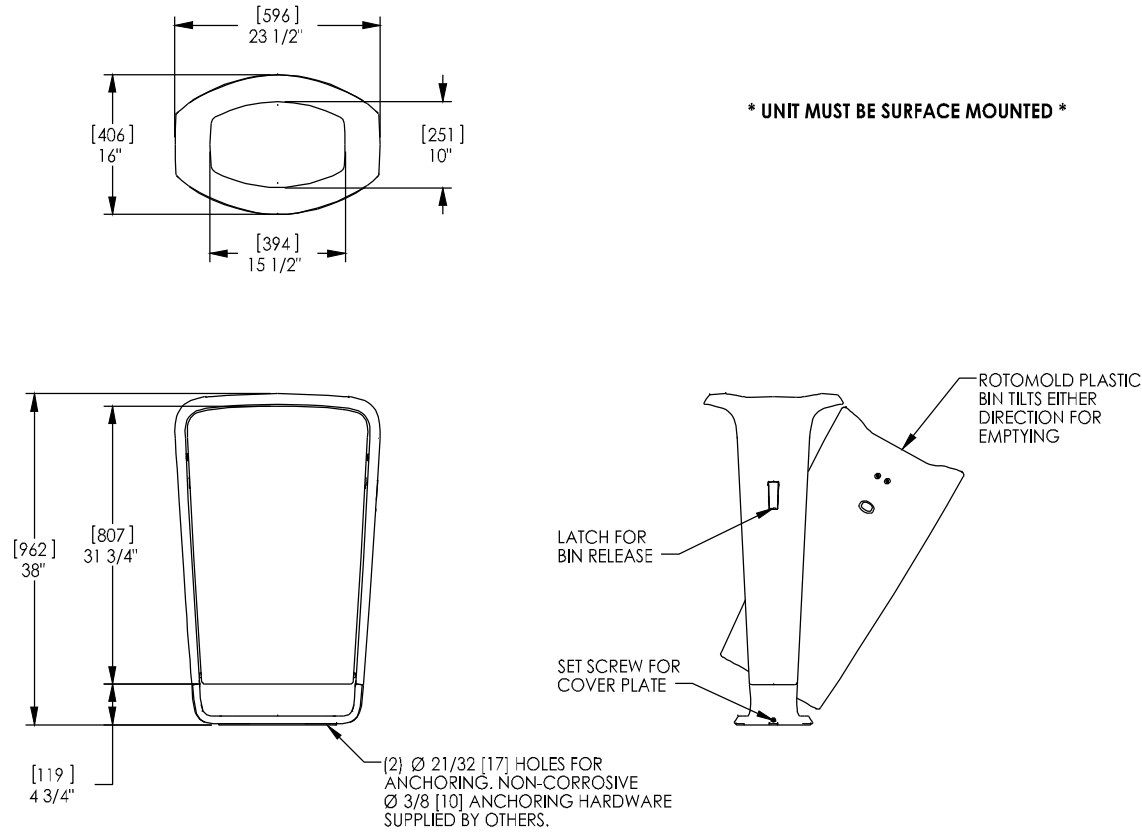
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Project Phase
SHORELINE SUBMITTAL

Sheet Title
LANDSCAPE IMAGE
BOARD

Sheet Number
L6-3-01



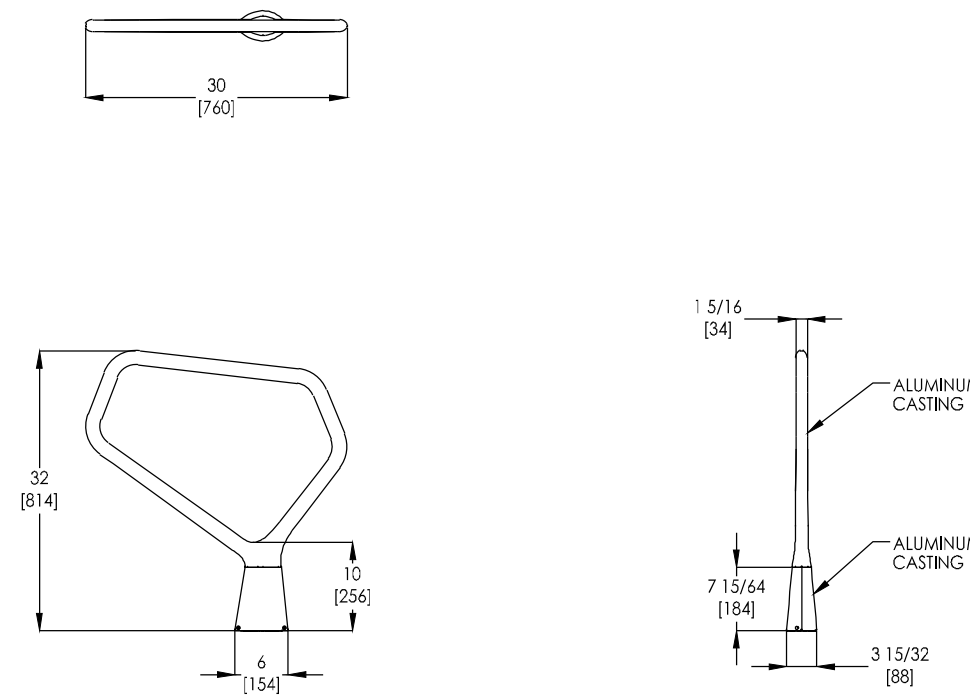
landscapiforms® Drawing: CO217-07
Dimensions are in inches (mm)
U.S. Patent No. D607,171

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01 LITTER RECEPTACLE

SCALE - N.T.S.

SURFACE MOUNT OPTION DOES NOT INCLUDE ANCHORS.
EMBEDDED OPTION INCLUDES TWO EACH:
M12 x 1.75 THREADED RODS, 120mm LENGTH
M12 x 1.75 HEAVY HEX NUTS
M12 FLAT WASHERS
ALL CARBON STEEL WITH MAGN-COAT

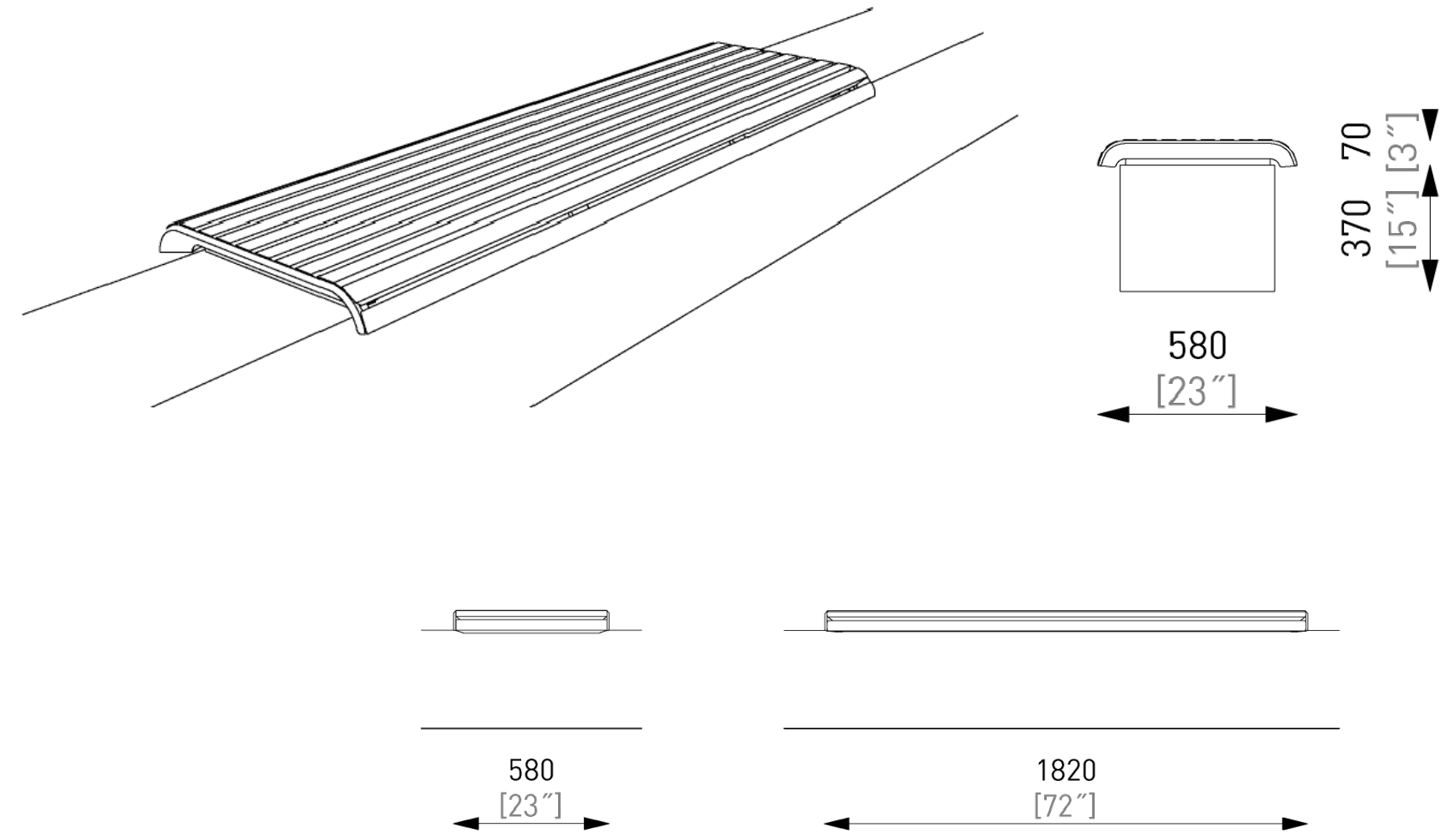


landscapiforms Drawing: AG300-01
Dimensions are in inches (mm)
U.S. Patent No. D765,550

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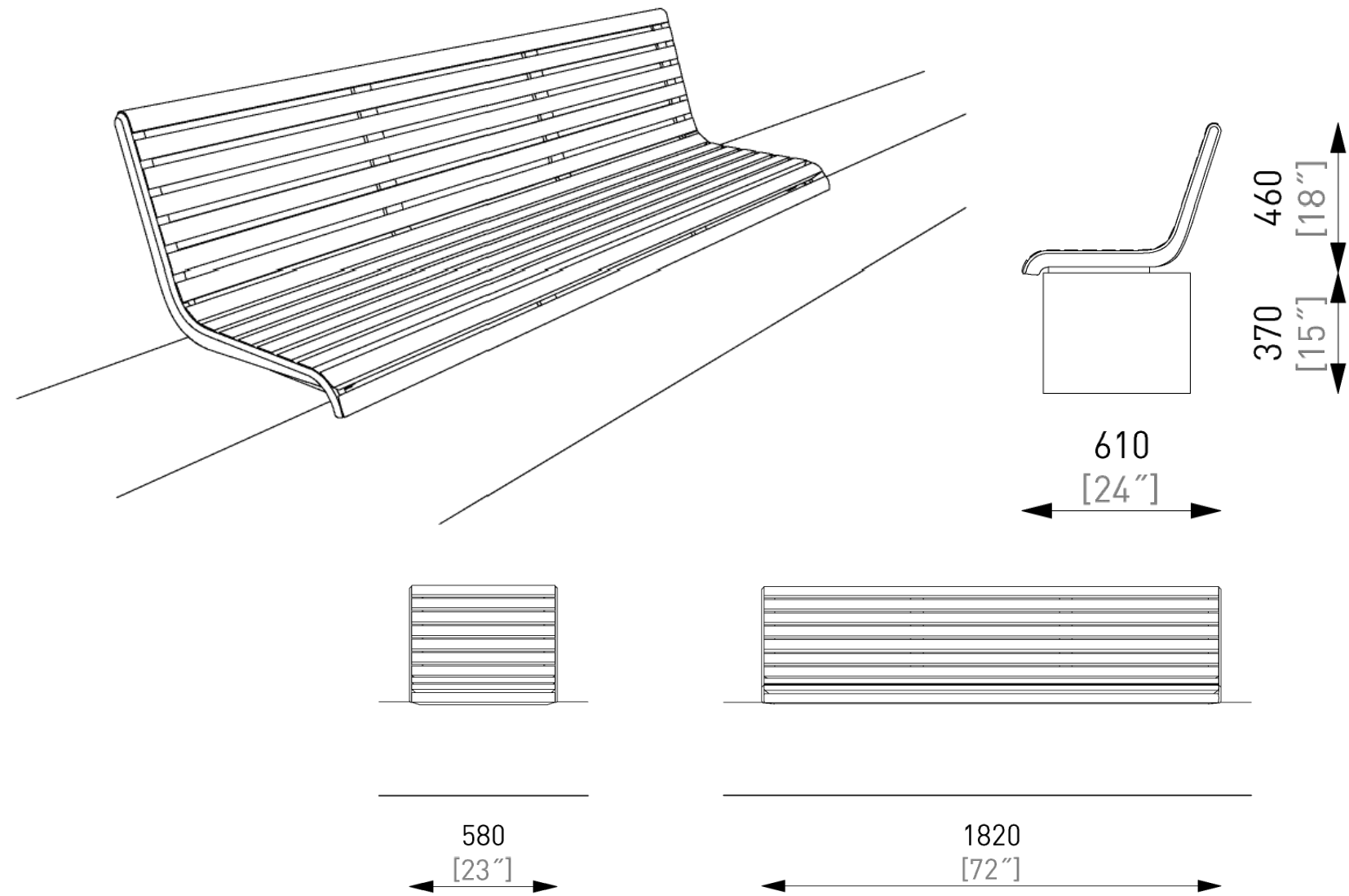
03 BIKE RACKS

SCALE - N.T.S.



02a MMCITE PORT BACKLESS BENCH

SCALE - N.T.S.



02b MMCITE PORT BACKED BENCH

SCALE - N.T.S.

FURNISHINGS LEGEND

SYMBOL	DESCRIPTION	DETAIL
SF-01	LITTER RECEPTACLE	01 L9-4-01 qty: 3
SF-02a	BACKLESS BENCH	02a L9-4-01 19 l.f.
SF-02b	BACKED BENCH	02b L9-4-01 20 l.f.
SF-03	BIKE RACKS	03 L9-4-01 qty: 5

LIGHTING NOTE:

CODE-REQUIRED LIGHTING SHALL BE PROVIDED, AND ALL LIGHT FIXTURES SHALL COMPLY WITH REQUIRED LIGHT LEVELS

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

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Seal



Project Phase

SHORELINE SUBMITTAL

Sheet Title

SITE FURNITURE
CUTSHEETS

Sheet Number

L9-4-01

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Consultants:

PROJECT DESIGN INFORMATION		
Length of Primary Bay Frontage	(ft.)	275'
Length of Any Secondary Bay Frontage(s)	(ft.)	N/A
Width (Depth) of Property	(ft.)	415'-6"
Number of Stories	(no.)	39
Total Height (MHWL to top of parapet)	(ft.)	494'-3"
Maximum Density Allowed by Zoning	(Units per Acre)	150 du/acre
Density Proposed	(Units per Acre)	90 du/acre
Number of Residential Units	(no.)	246
Leasable Commercial Space	(sq.ft.)	23,043 sf
Number of Parking Floors	(no.)	7
Does garage have liner units along shoreline?	(Y/N)	Yes
Lot Coverage	(%)	118,490 sq.ft.
Paved Area	(%)	52,685 sq.ft. (44%)
Landscaped Area	(%)	18,720 sq.ft. (16%)

Miami-Dade County Code Sec. 33-D Compliance: (required for Site Plan Review applications only)	Provided	Required
• Shoreline Setback <i>(setback from wet face of seawall to nearest edge of building)</i>	35'	25' to 75' Min.
• North Setback <i>(setback from nearest edge of building to property line)</i>	29'-39'	25' Min.
• South Setback <i>(setback from nearest edge of building to property line)</i>	68'	25' Min.
• East Setback <i>(setback from nearest edge of building to property line)</i>	13'	N/A
• Visual Corridor <i>(to be provided on one side of development)</i>	68' width	25% of site width

Podium Setbacks:

WEST: 25' Waterfront Setback | Island Walk
NORTH: 20' Primary Front Setback
EAST: 10' Secondary Street Setback
SOUTH: 25' Rear Setback

Key Plan

[illegible]

Date	05/30/2025
Designed By	MH, LDC
Drawn By	LDC
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Project Number	SE240000

Seal



Project Phase

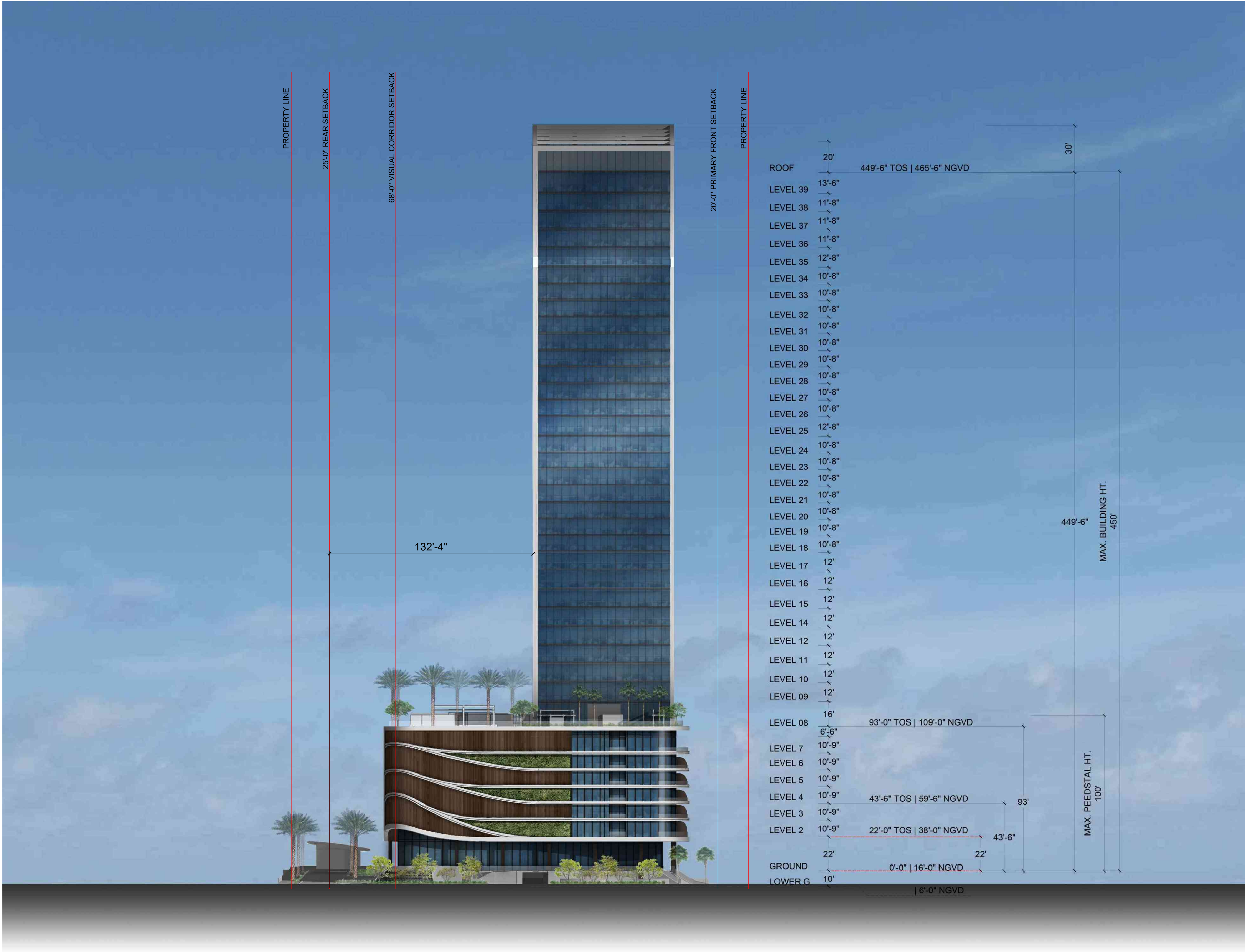
SHORELINE SUBMITTAL

Sheet Title

PROJECT DATA TABLE

Sheet Number

L10-0-00



Project Name

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Seal



Project Phase

SHORELINE SUBMITTAL

Sheet Title

EAST ELEVATION

Sheet Number

A2-01



Project Name

ISLE OF DREAMS

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PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Consultants:

Key Plan

Rev	Date	Issued for

Date	05/30/2025
Designed By	MH, LDC
Drawn By	LDC
Approved / Checked By	JS
Project Number	SE240000

Seal



Project Phase

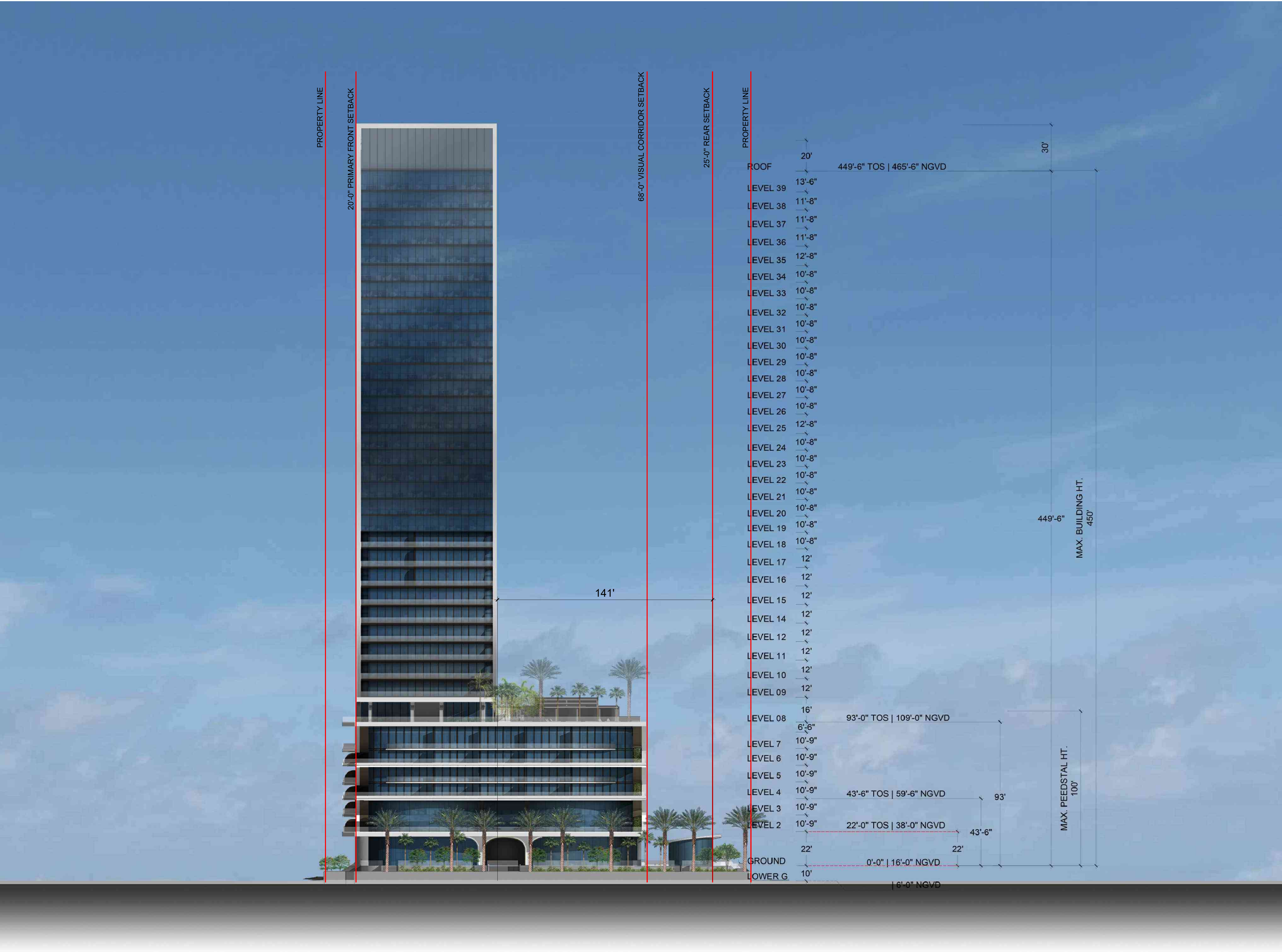
SHORELINE SUBMITTAL

Sheet Title

NORTH ELEVATION

Sheet Number

A2-02



Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
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Seal



Project Phase

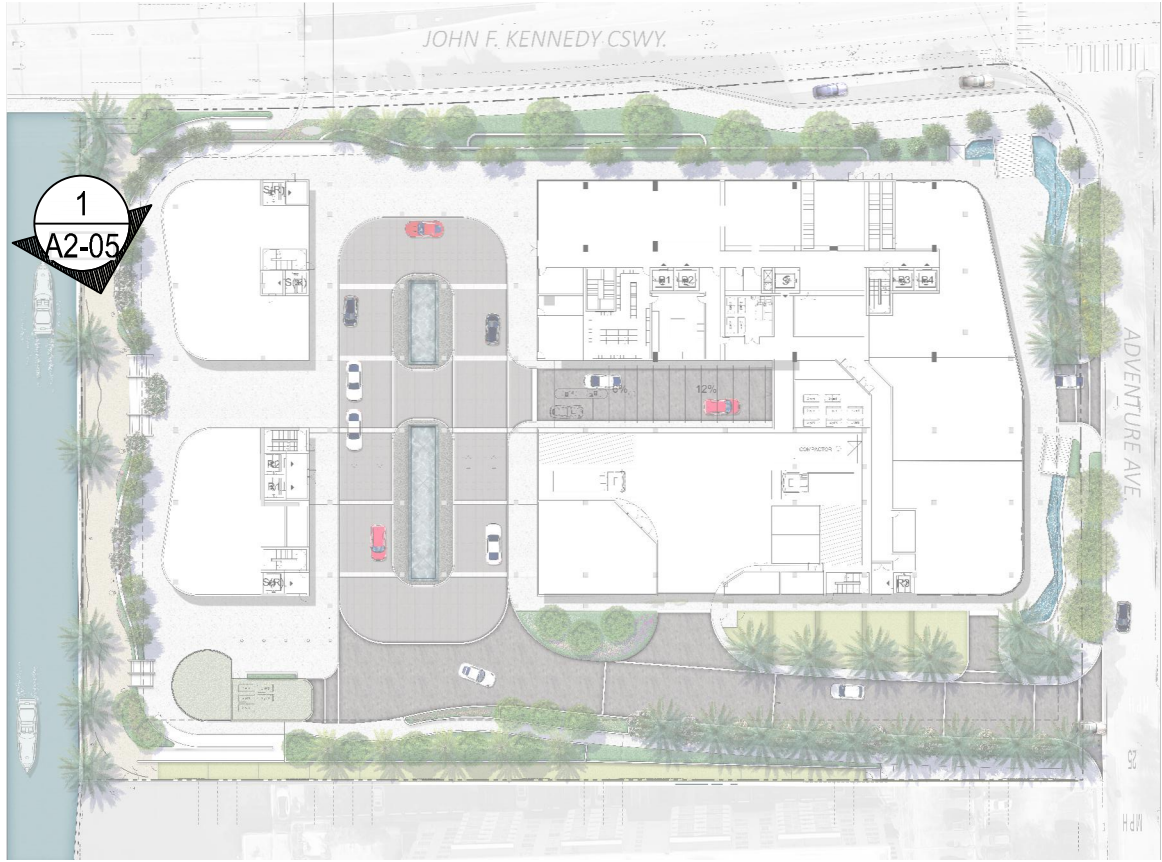
SHORELINE SUBMITTAL

Sheet Title

WEST ELEVATION

Sheet Number

A2-04



02 WATERFRONT PED. PROMENADE SECTION

SCALE - 1/4" = 1'-0"

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

ISLE OF DREAMS

Client

ARQUITECTONICA



PLANNING
LANDSCAPE ARCHITECTURE
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Seal



Project Phase

SHORELINE SUBMITTAL

Sheet Title

BAYWALK PERSPECTIVE

Sheet Number

A2-05