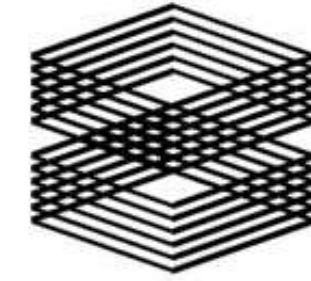




2300 BROADWAY
Redwood City, CA



TISHMAN SPEYER

PLANNING APPLICATION #2
10/22/2021

WRNS STUDIO
501 SECOND STREET
4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
415.489.2224 TEL
415.358.4100 FAX
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2300 BROADWAY
Redwood City, CA

Tishman Speyer

PROJECT NO.: 19046.00

AHJ #

ISSUES	PLANNING APPLICATION	DATE
	PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE

COVER

G-000

ENTITLEMENTS / PERMITS REQUESTED

1. PLANNED COMMUNITY (PC) PERMIT FOR NEW OFFICE DEVELOPMENT
2. AMENDMENTS TO THE 2018 REVISED DOWNTOWN PRECISE PLAN
SECTION 2.5.2.A
SECTION 2.5.2.E
SECTION 2.7.3.A
3. TENTATIVE MAP FOR RECONFIGURATION OF EXISTINGS LOTS AND STREET GRID

DEFERRED PERMITS

1. EXTERIOR SIGNAGE
2. INTERNAL FIRE SPRINKLER / STANDPIPE LAYOUT & CALCULATIONS

APPLICABLE CODES & AGENCIES

THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT REFERENCED PROJECT IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID CALIFORNIA CODE OF REGULATIONS TITLE 24, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AGENCY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.

PARTIAL LIST OF APPLICABLE CODES AS OF 03/05/21

- 2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 CCR
- 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 CCR
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 CCR
- 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 CCR
- 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR
- 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 CCR
- 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 CCR
- 2019 CA GREEN BUILDING STANDARDS CODE (CAL GREEN), PART 11, TITLE 24 CCR
- 2019 CALIFORNIA REFERENCE STANDARDS, PART 12, TITLE 24 CCR
- TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- NFPA 13 AUTOMATIC SPRINKLER SYSTEMS W/ CA AMENDMENTS 2016 EDITION
- NFPA 14 STANDPIPE SYSTEMS W/ CA AMENDMENTS 2016 EDITION
- NFPA 17A WET CHEMICAL SYSTEMS 2016 EDITION
- NFPA 20 STATIONARY PUMPS 2016 EDITION
- NFPA 24 PRIVATE FIRE MAINS W/ CA AMENDMENTS 2016 EDITION
- NFPA 72 NATIONAL FIRE ALARM DOE W/ CA AMENDMENTS 2016 EDITION
- NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS W/ CA AMENDMENTS 2016 EDITION
- 2017.04.26 REDWOOD CITY MUNICIPAL CODE
- 2011.01.24 DOWNTOWN PRECISE PLAN (REVISED JUNE 11,2018)

PROJECT DIRECTORY

APPLICANT

TISHMAN SPEYER
ONE BUSH PLAZA, 1 BUSH ST
SUITE 500
SAN FRANCISCO, CA 94104
CONTACT: HENRY SEARS
415-297-2834

ARCHITECT

WRNS STUDIO
501 SECOND STREET
SUITE 402
SAN FRANCISCO, CA 94107
CONTACT: BRIAN MILMAN
415-489-2224

LANDSCAPE

GLS LANDSCAPE/ARCHITECTURE
2877 MISSION STREET
#200
SAN FRANCISCO, CA 94110
GARY STRANG
415-285-3614

CIVIL

BKF ENGINEERS
255 SHORELINE DRIVE
SUITE 200
REDWOOD CITY, CA 94065
JAMES DALLOSTA
650-482-6414

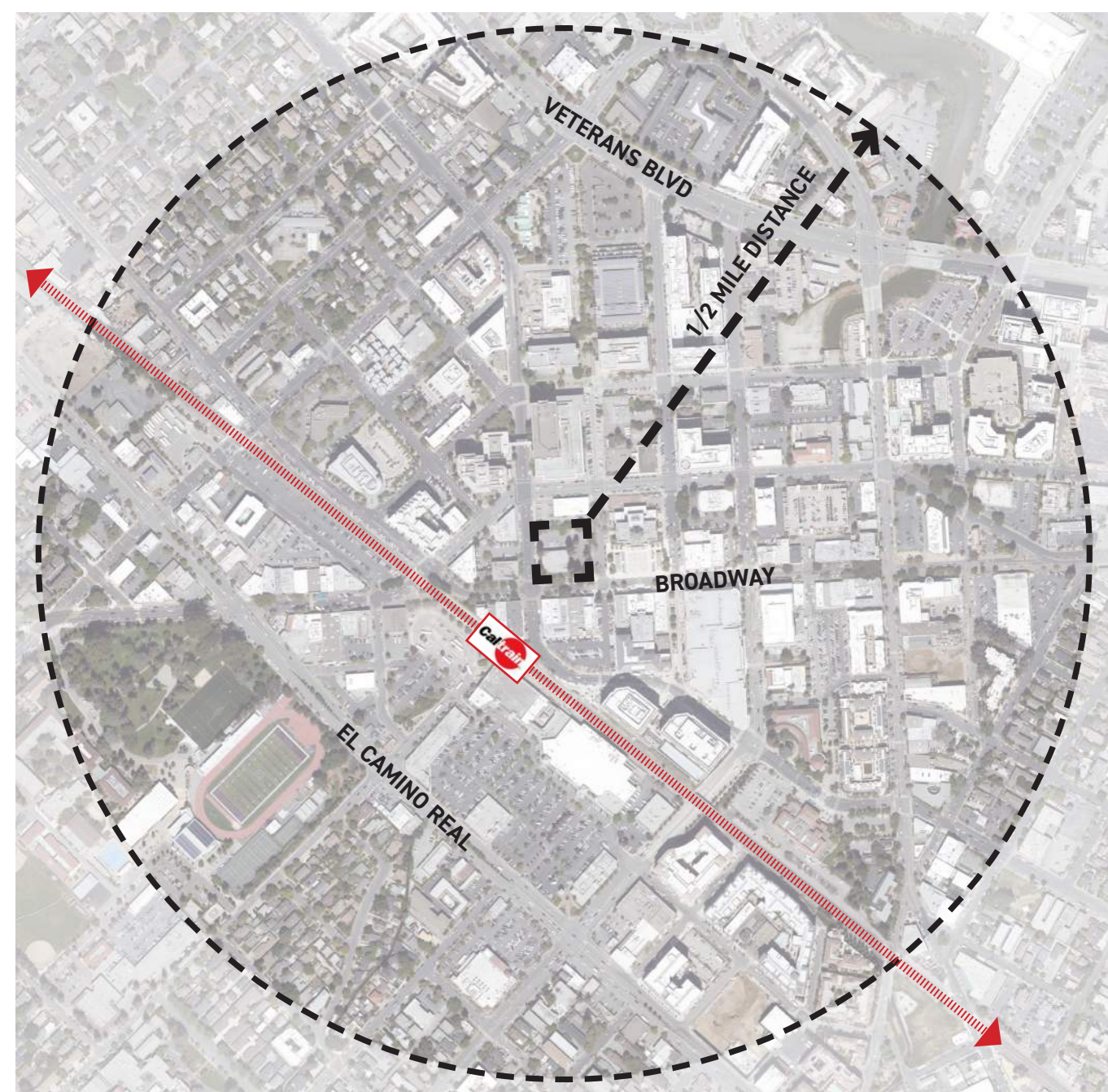
DRAWING SHEET INDEX

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00 GENERAL		
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G-002	PROJECT INFORMATION	
G-003	PRELIMINARY EXITING PLANS	
G-004	EXISTING SITE CONDITIONS	
G-005	EXISTING SITE PLAN	
G-006	PROJECT GOALS & CONCEPTS	
G-007	PROJECT GOALS & CONCEPTS	
G-010	DTPP COMPLIANCE SECTION 2.2 & 2.5	
G-011	DTPP COMPLIANCE SECTION 2.7	
G-012	DTPP COMPLIANCE SECTION 2.7	
G-013	DTPP COMPLIANCE SECTION 2.7.5	
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G-022	DTPP COMPLIANCE SECTION 2.9	
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L-101	PROPOSED ILLUSTRATIVE LANDSCAPE PLAN	
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2		
04 ARCHITECTURAL		
A-10B1	FLOOR PLAN - LEVEL B1	
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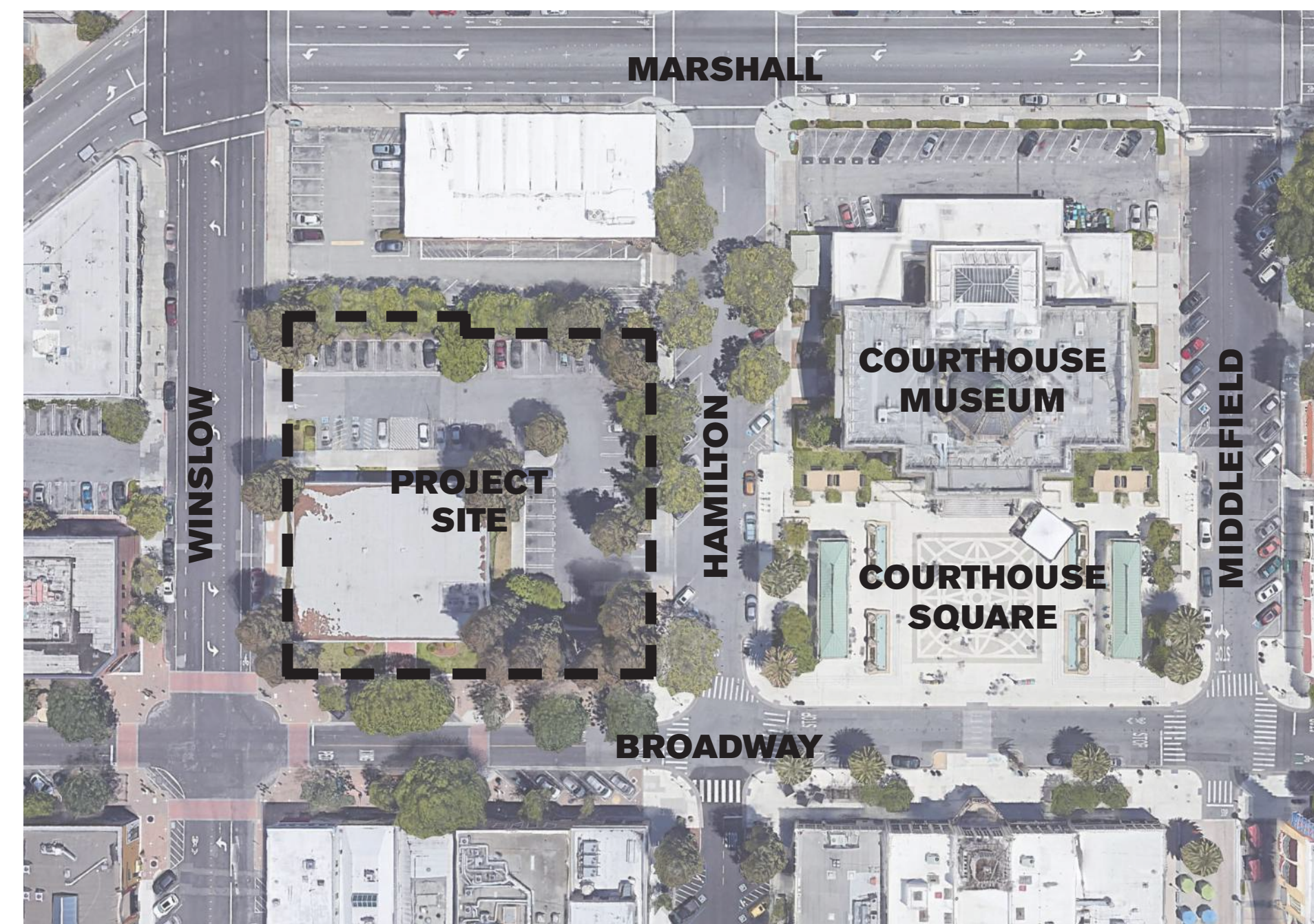
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE

VICINITY MAP



LOCATION MAP



2300 BROADWAY

Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

**DRAWING INDEX,
PROJECT DIRECTORY**

SHEET NO:

G-001

10/24/2021 10:06:27 AM

PROJECT INFO

PROJECT SUMMARY

Commercial development at 2300 Broadway, also known as the Chase Bank Property. Our application is based on initial feedback we have received over the course of dozens of in-person meetings with community members who are invested in and care deeply about the future of Redwood City. Three common themes from this outreach have informed this application:

New Public Green Space & Enhanced Redwood Grove

Given its adjacency to the Courthouse Square, 2300 Broadway presents a unique community-led placemaking opportunity that can expand on the incredible success of the Square. We envision partnering with the City to create over 20,000 square feet of public green space directly adjacent to the Square that can preserve and enhance the grove of Redwood trees at the corner of Hamilton & Broadway. This space can be complimented by active uses and public space in the ground floor of our building.

With other pedestrian improvements underway, Hamilton Street has the potential to become a pedestrian throughfare linking CalTrain to Courthouse Square, County Building 3, and other parts of Redwood City to the North. With further improvement, it has the potential to support a larger network of multi-modal transportation to and from downtown.

Hamilton Green

Envisioned as a pedestrian-only public space to support Courthouse Square, the Project will work with the city's Parks, Recreation and Community Services to develop a space that meets the city's needs for downtown green space and contributes meaningfully to public life.

Redwood Grove

By saving and improving upon the current Redwood trees at the Southeast corner of the site, the Project will create roughly 5000 sf of naturally-landscaped public outdoor space that will allow the community better interaction with the trees, their shade, and their lovely understory

Active Storefront Uses

Broadway is a lively street, with many successful restaurant, entertainment and retail uses. Unfortunately, when the Chase Bank building was built almost a half-century ago, it was constructed in a set-back, auto-centric manner, that detracts from the pedestrian experience, breaking up the continuity of retail space. The proposed project would significantly increase active storefront square footage, and we would work with the City and community to curate that space in a manner that best meets the needs of Redwood City.

The Project site at 2300 Broadway is currently underutilized in this exceptional context. This site is mostly given over to surface parking areas and a squat, beige bank building that offers little to the life of downtown aside from the function of the bank itself. While the landscape has beautiful trees, the public's access to and ability to enjoy their canopy could be improved - currently there are low walls running through the redwood grove where one could imagine a path with benches instead. The rest of the landscaped areas pull back from the sidewalk - distinctly in opposition to the guidelines of the Downtown Precise Plan and the urban character of the previously mentioned neighboring blocks of Broadway.

The Project proposes:

10 stories
Approx. 110' to solid parapet height, not to exceed Courthouse cupola precedent
Approx. 12,000 SF of ground level retail and amenities
Approx. 213,000 GSF of office on upper levels
5,000 SF of publicly-accessed Redwood Grove
15,000 SF of public space Hamilton Green

This project intends to bring active uses, public outdoor space, family-friendly program, and a compelling streetscape to both Broadway and Hamilton Street. This will allow the block to contribute its fullest potential to the character of Broadway and downtown Redwood City.

SITE INFORMATION

CURRENT ZONING: P - DOWNTOWN
ASSESSOR'S PARCEL #: 052-364-130
REFERENCE ADDRESS: 2300 BROADWAY, REDWOOD CITY, CA
SITE AREA: 39,500 SF (91 ACRES)
CURRENT USE: FINANCIAL
PROPOSED USE: COMMERCIAL OFFICE, RETAIL
PROPOSED DENSITY: 5.71 FAR
SURROUNDING USES: COMMERCIAL OFFICE, INDUSTRIAL-RESTRICTED, RETAIL
BUILDING HEIGHT: 110'-8" TO SOLID PARAPET, 129' TO PENTHOUSE
PARKING: 2 LEVELS BELOW GRADE PARKING (151 STALLS)
OPEN SPACE: 5,000 SF (12.6%) ON SITE, 15,000 SF ON HAMILTON

SCOPE OF WORK

AREA TABULATIONS / TECHNICAL INFORMATION

2300 BROADWAY Commercial/Office

ZONING SUMMARY	ZONING	PARCEL AREA (SF)	REFERENCE CODE SECTION
2010 General Plan	Mixed Use - Downtown		
Precise Plan	Downtown		
Zoning	P - Planned Community		
Neighborhood Association	Downtown		
DTPP District	Entertainment / Active Ground Floor		
APN	052-364-130		
Site Area (actual)		39,500	

PROJECT SUMMARY	PROPOSED	ALLOWED / REQ'D	REFERENCE CODE SECTION
Use	Office, Retail	Permitted/Permitted-U	DTPP Section 2.2.1
Floor Area Ratio	5.74	N/A	
Number of Stories Above Grade	10	12	DTPP Section 2.7.1
Along Broadway	3	3	
Along Hamilton	2	3	
Height	110'-8" / 130'-8" (penthouse)	136' / 146' (penthouse)	DTPP Section 2.7.1
Along Broadway	39'-8"	35' minimum	DTPP Section 2.7.3
Along Hamilton	110'	35' minimum	
Gross Floor Area	226,656	N/A	
Sidewalk Width (min)	12'	12'	DTPP Section 2.4.3.B+C
Setback (Broadway)	0' / 50' / 75'	0' / 40'	DTPP Section 2.5.1, 2.7
Setback (Hamilton)	0'	0' / 60'	
Setback (Winslow)	0'		
Setback (Rear)	0'	0'	
Frontage	83%	100%	DTPP Section 2.5.1

BUILDING AREA SUMMARY	GSF PROPOSED (COUNTED TOWARD FAR)	REFERENCE CODE SECTION
Level Roof	5,368	RCMC Article 2.2
Level Roof Mechanical	5,726	"Floor Area Gross"
Level 9	22,183	
Level 8	22,183	
Level 7	22,183	
Level 6	22,183	
Level 5	22,183	
Level 4	22,183	
Level 3	29,043	
Level 2	29,753	
Level 1	16,035	
Level B1	34,762	
Level B2	34,762	
TOTAL OFFICE	213,297	
Level 1 (Retail)	13,359	
Level 1 (Garage Ramp)	2,685	
TOTAL	226,656	

PARKING SUMMARY	RATIO (REQUIRED)	TOTAL STALLS (REQUIRED)	REFERENCE CODE SECTION
Commercial (shared)	3/1000 GSF	680	RCMC Article 30.2.C, DTPP 2.6.1

UNDERGROUND PARKING	TOTAL STALLS (PROVIDED)	REFERENCE CODE SECTION
Parking Level B1	74	
Parking Level B2	77	
TOTAL PARKING PROVIDED	151	
Car/Vanpool (10% of total)	15	RCMC Article 30.6.C
Bicycle Parking (1/5000 GSF)	45	RCMC Article 30.6.D
Motorcycle Parking	8	RCMC Article 30.6.E
Depth of Garage Below Grade	24'	

PUBLIC OPEN SPACE	GSF	PERCENTAGE (PROPOSED)	PERCENTAGE (REQUIRED)	REFERENCE CODE SECTION
Parcel Area	39,500			
Building Coverage Area	32,079			
Redwood Grove	5,000	12.66%		
Hamilton Green	15,000			
TOTAL PUBLIC OPEN SPACE	20,000	50.63%	0%	DTPP Section 2.5.2

ELEVATORS	QUANTITY	LEVELS SERVED	DOOR HEIGHT	REFERENCE CODE SECTION
Office Floors	2	L1-LR	8'-0"	N/A
Office Floors and Parking	2	B2-LR	8'-0"	
Public Parking Shuttle	1	B2-L1	8'-0"	

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ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY

Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT INFORMATION

SHEET NO:

G-002

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ISSUES	DATE
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PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

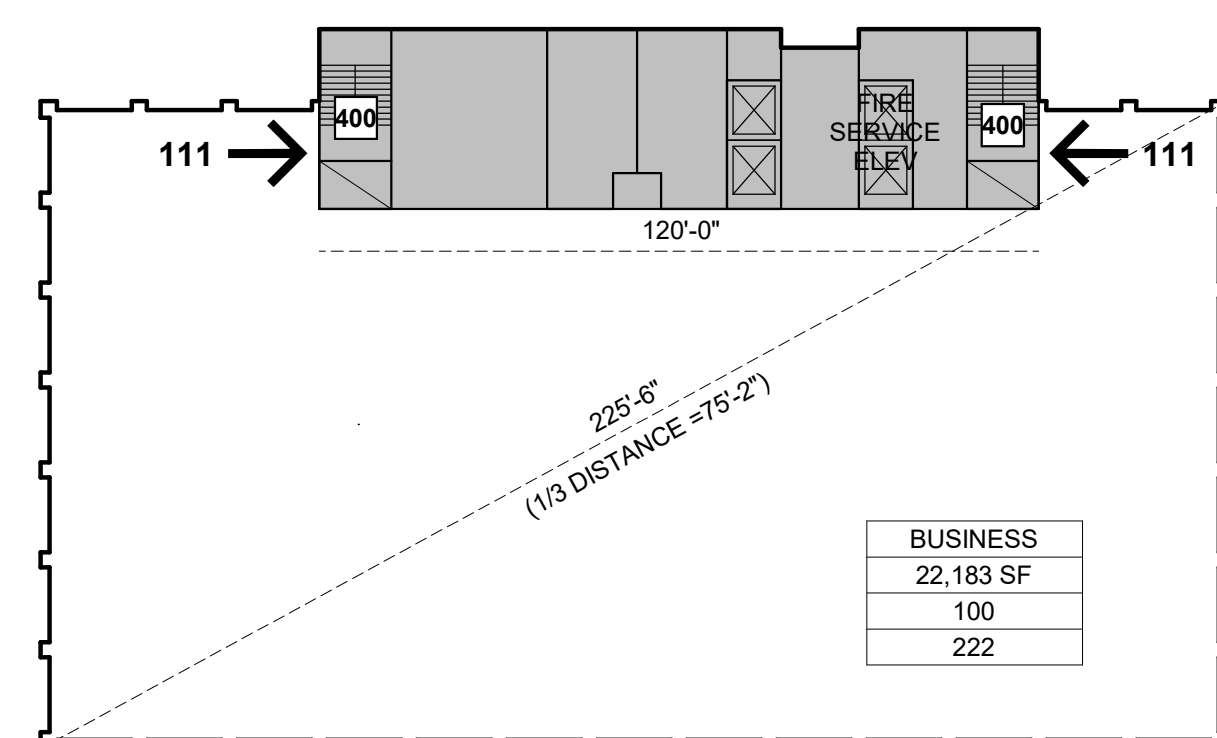
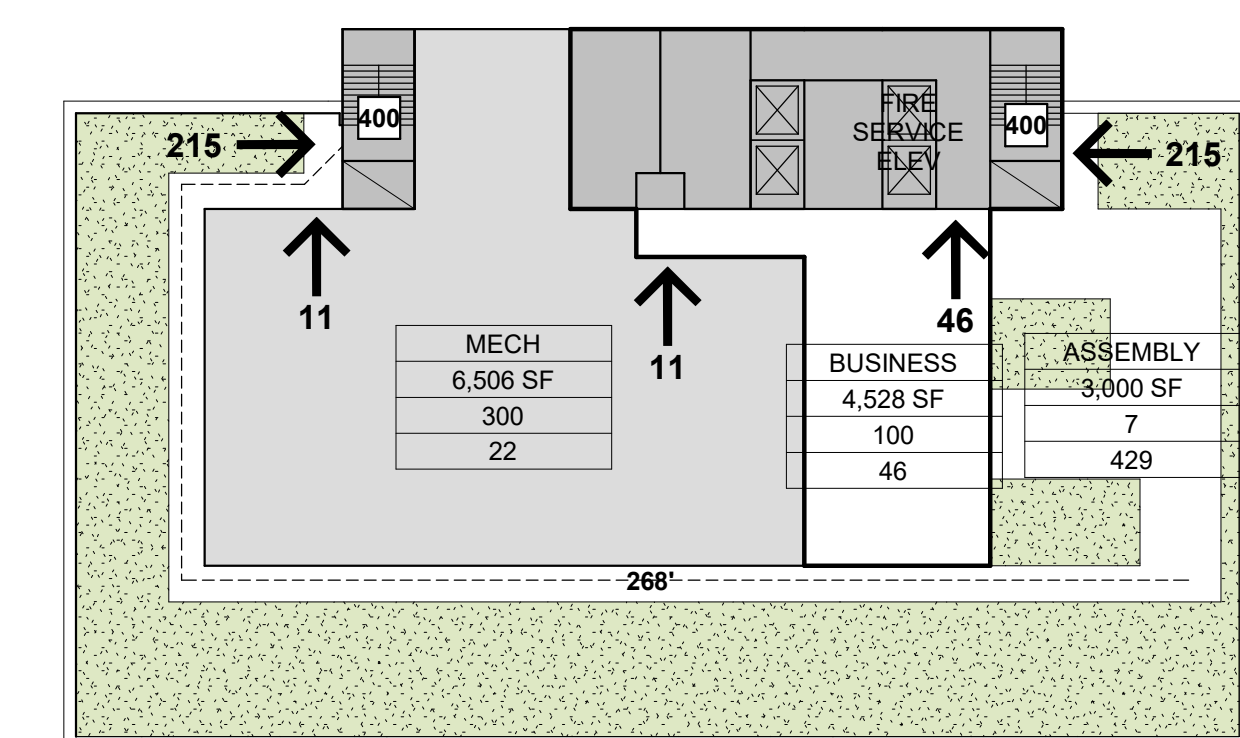
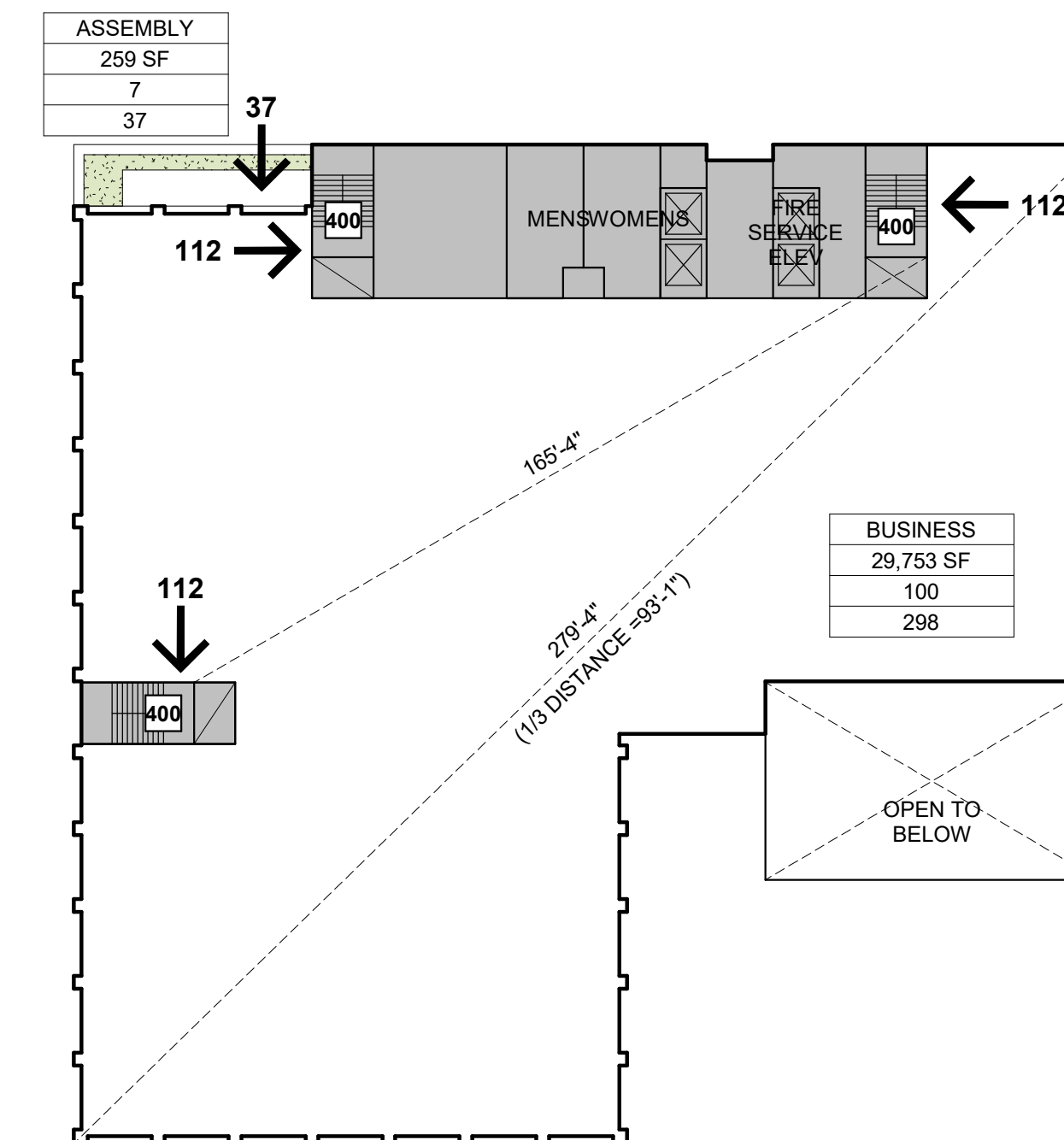
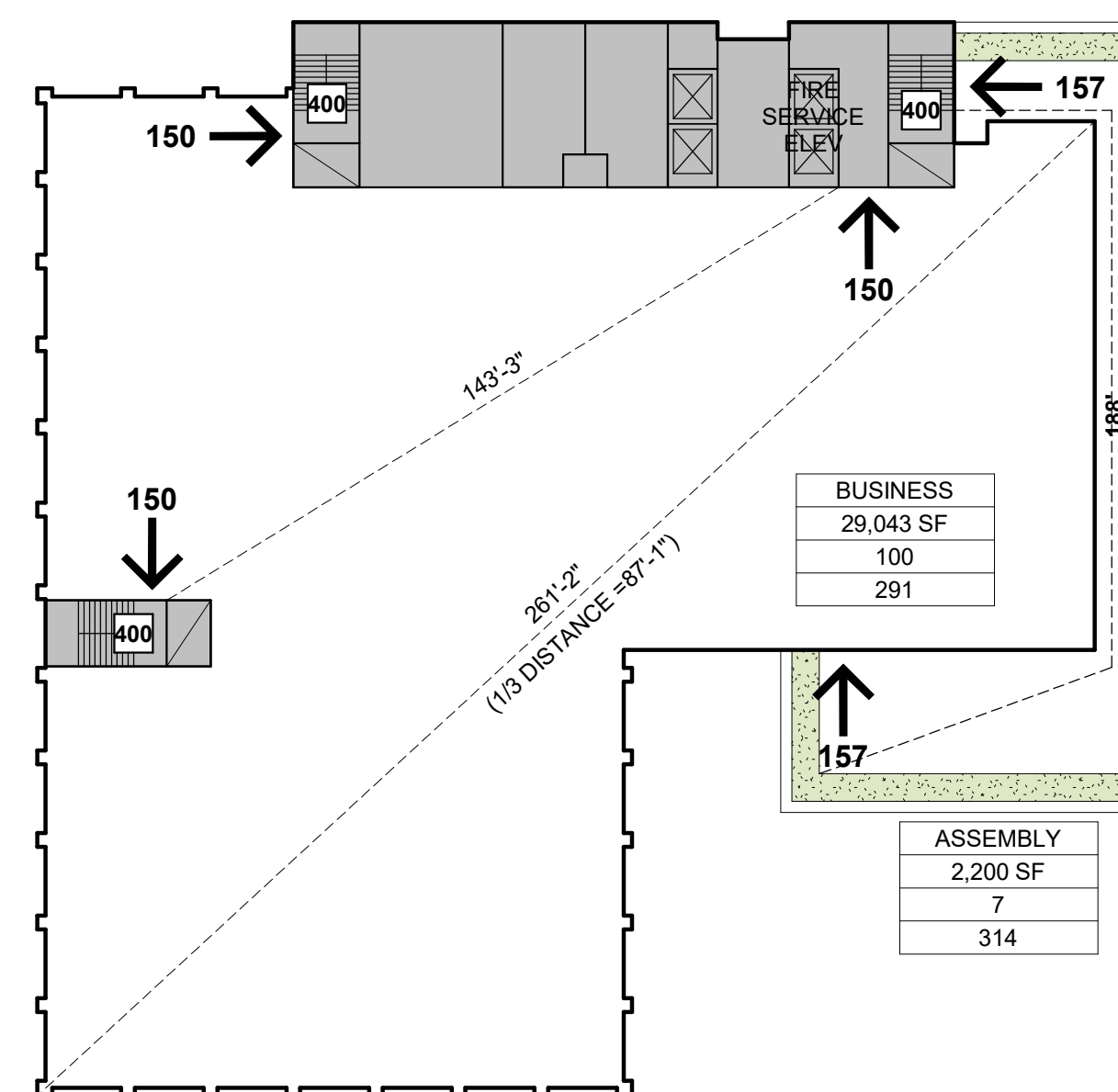
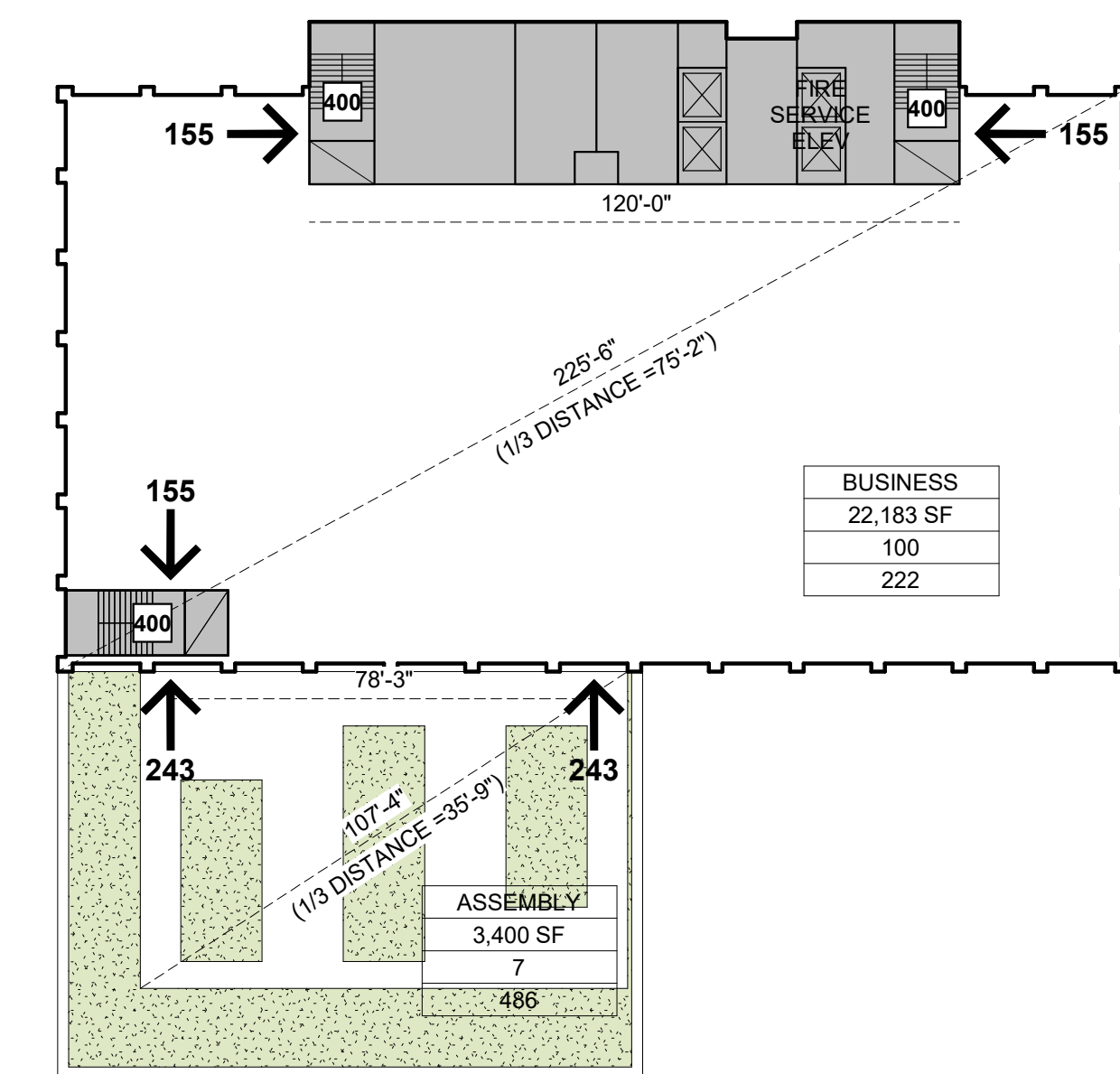
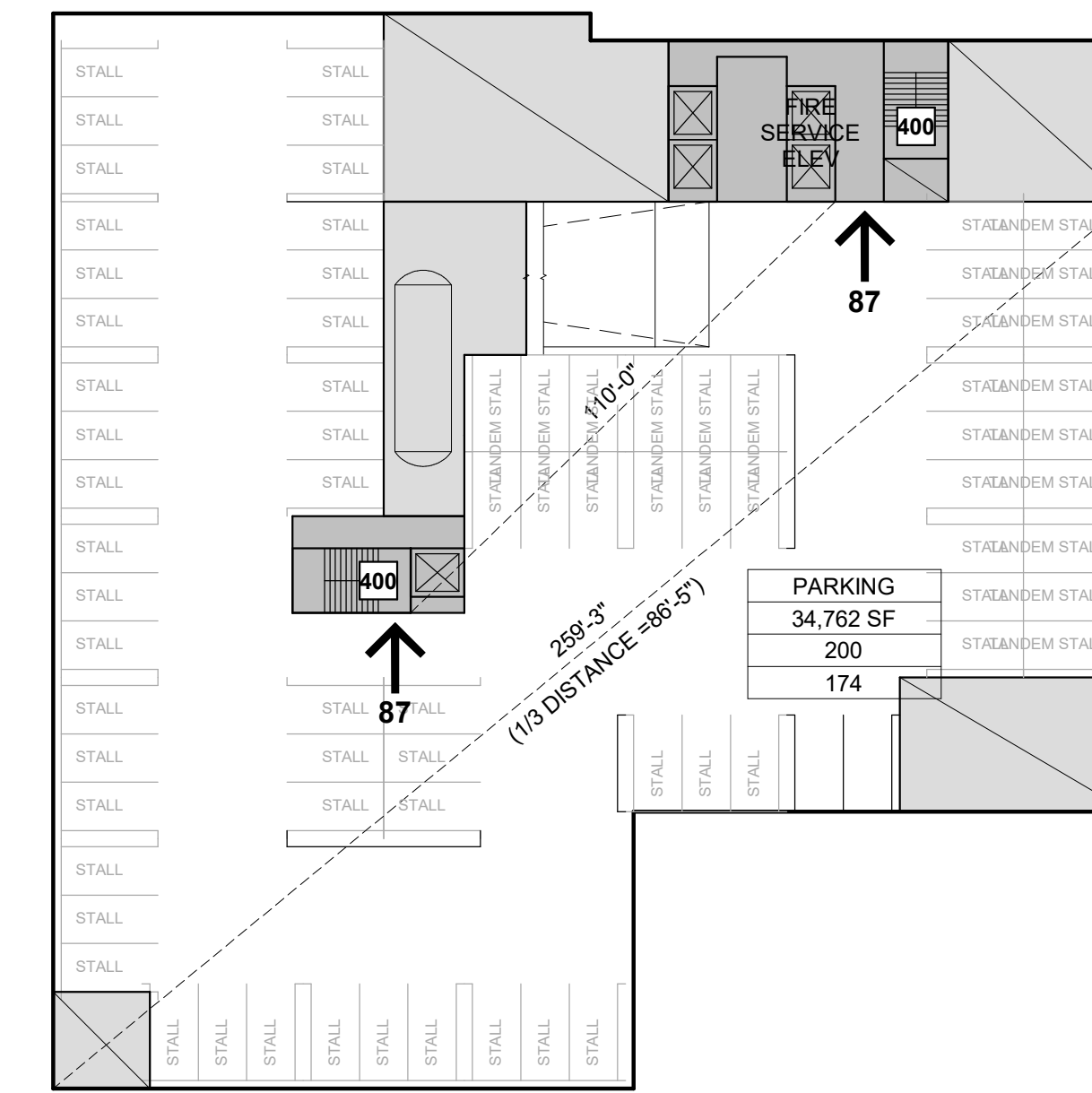
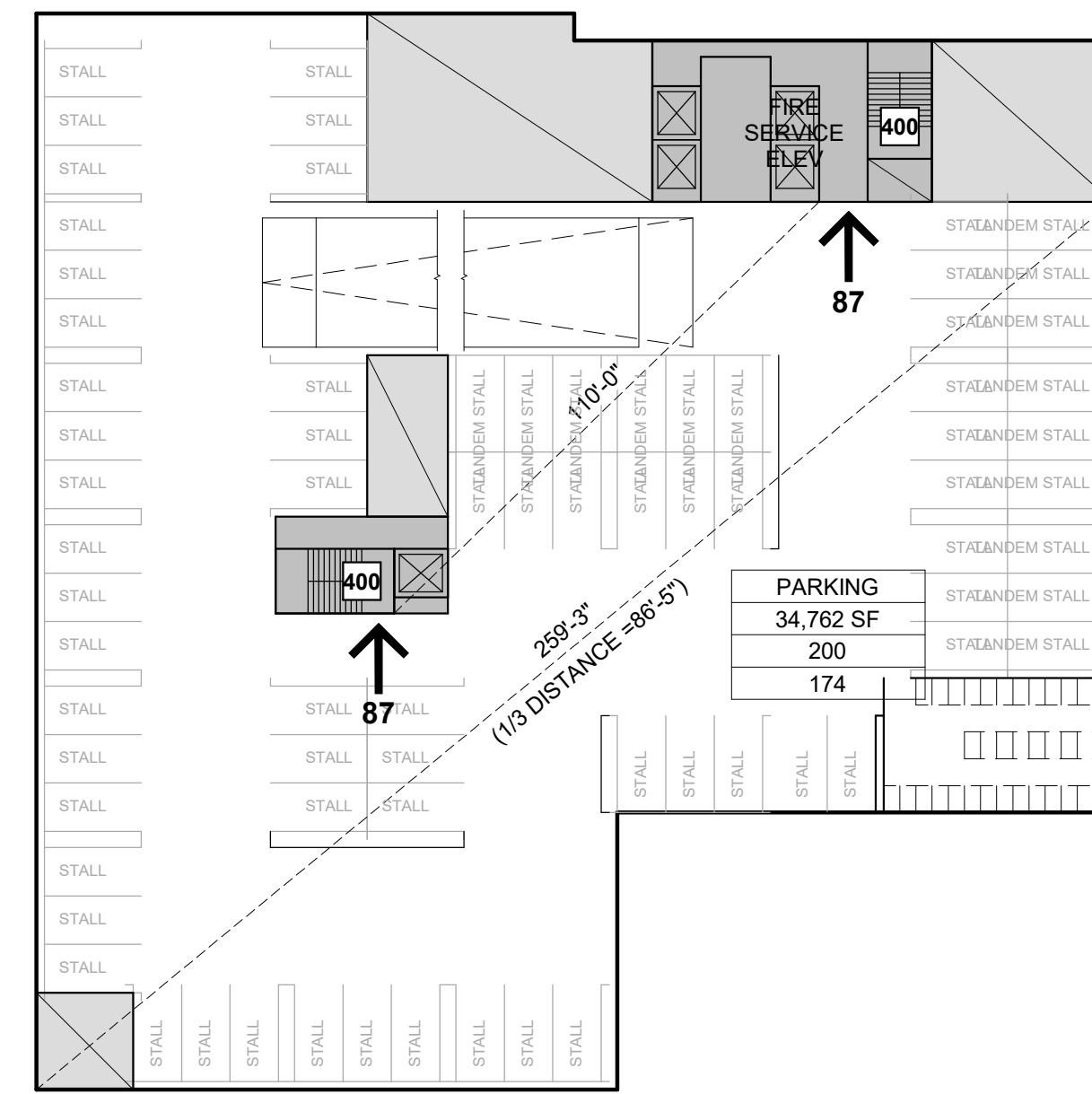
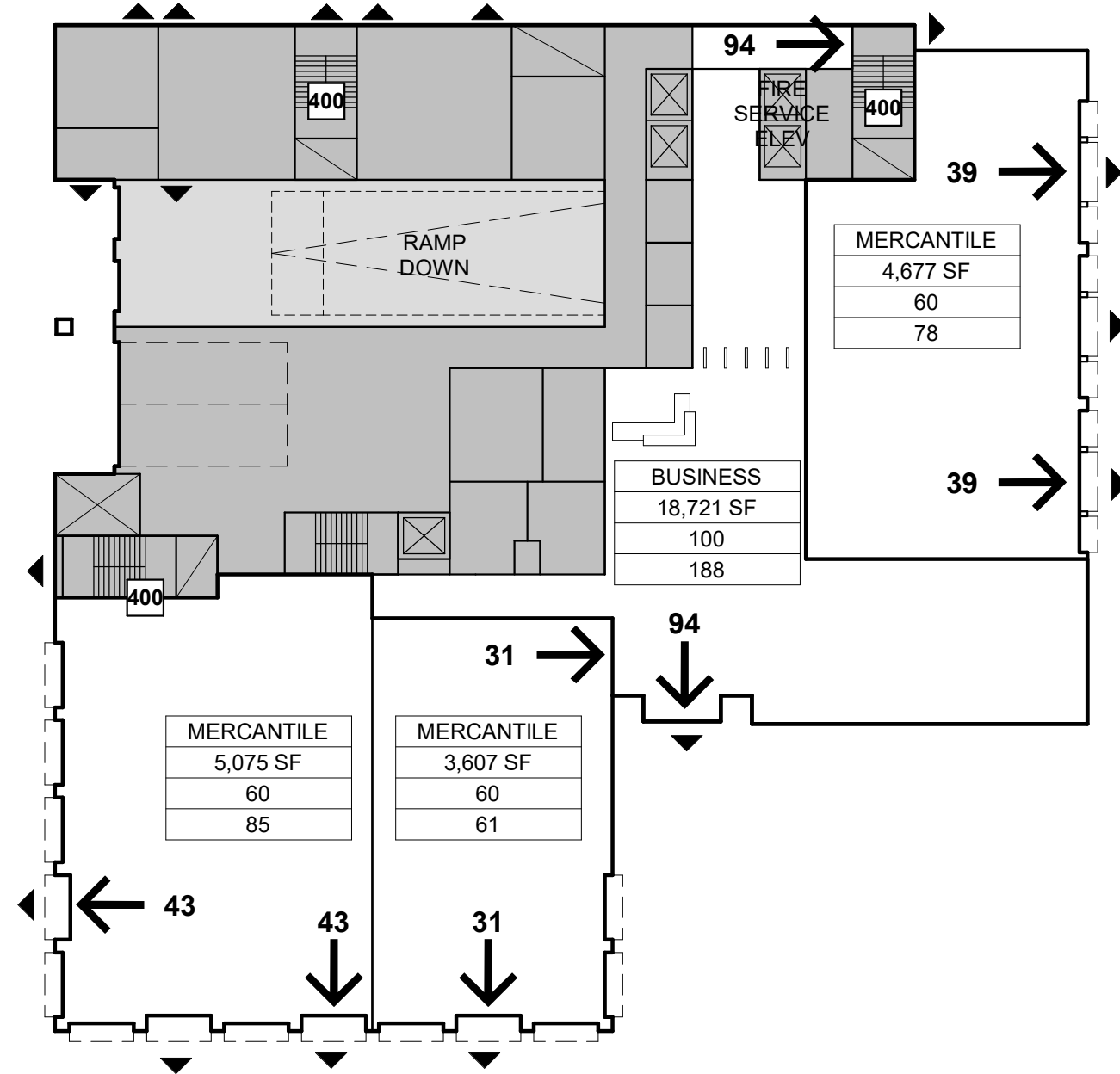
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SHEET TITLE:

PRELIMINARY EXITING
PLANS

SHEET NO:

G-003



LEGEND

1,250 SF	USE/OCCUPANT TYPE	↑	INDICATES AN EXIT
100	ROOM AREA	XX	NUMBER OF OCCUPANTS EXITING
13	OCCUPANT LOAD FACTOR (OCCUPANTS PER SF)	▼	EXIT AT GRADE
400	OCCUPANT LOAD	400	# OF OCCUPANTS EXIT CAN ACCOMMODATE

NOTE: 100 GROSS USED FOR B OCC. IN LIEU OF 150 FOR FUTURE FLEXIBILITY. ALL ASSEMBLY OCC. CONSIDERED ACCESSORY TO B

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1 EXISTING CHASE BANK AUTO ENTRY



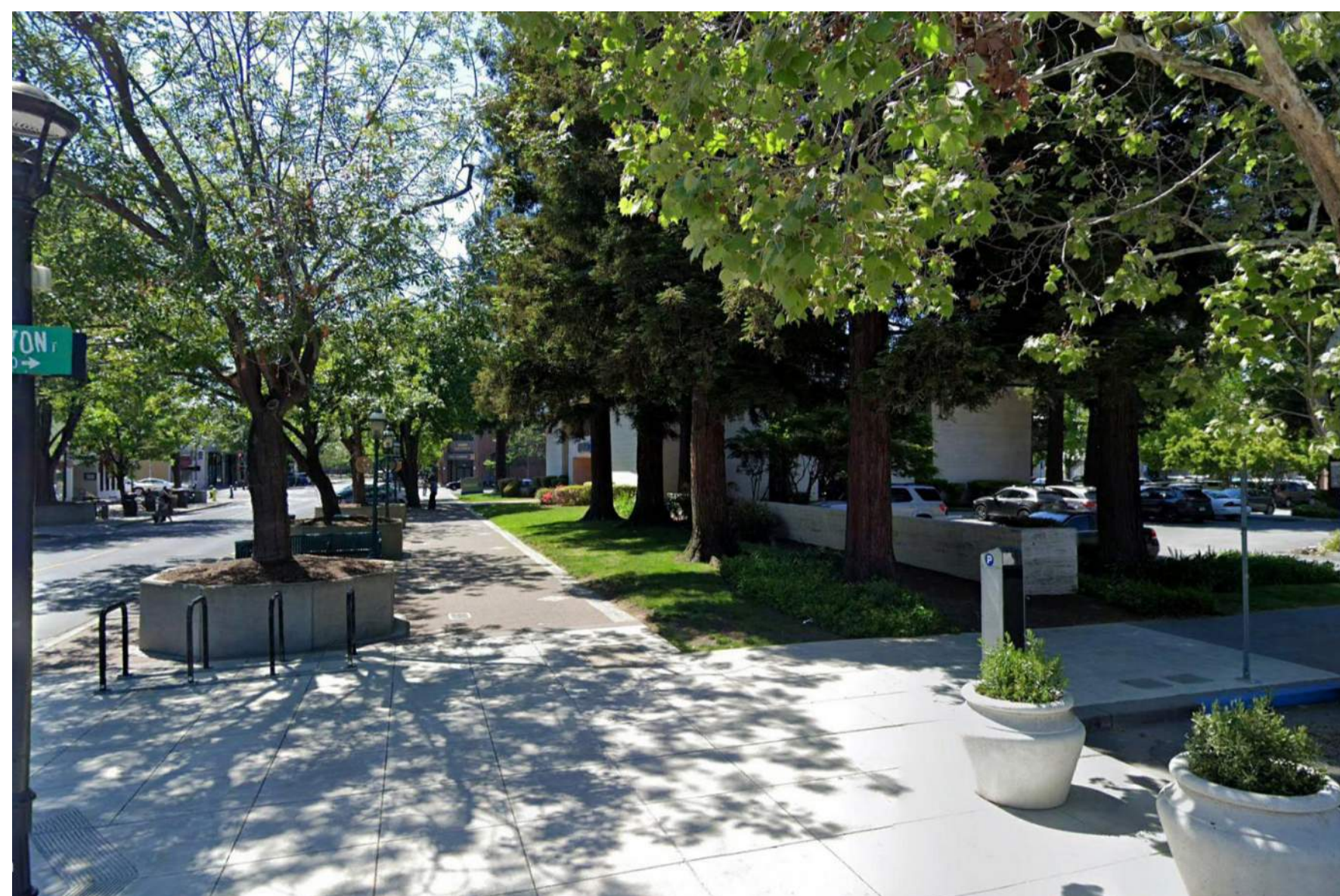
2 EXISTING HAMILTON AUTO ENTRY



3 EXISTING PEDESTRIAN ENTRY



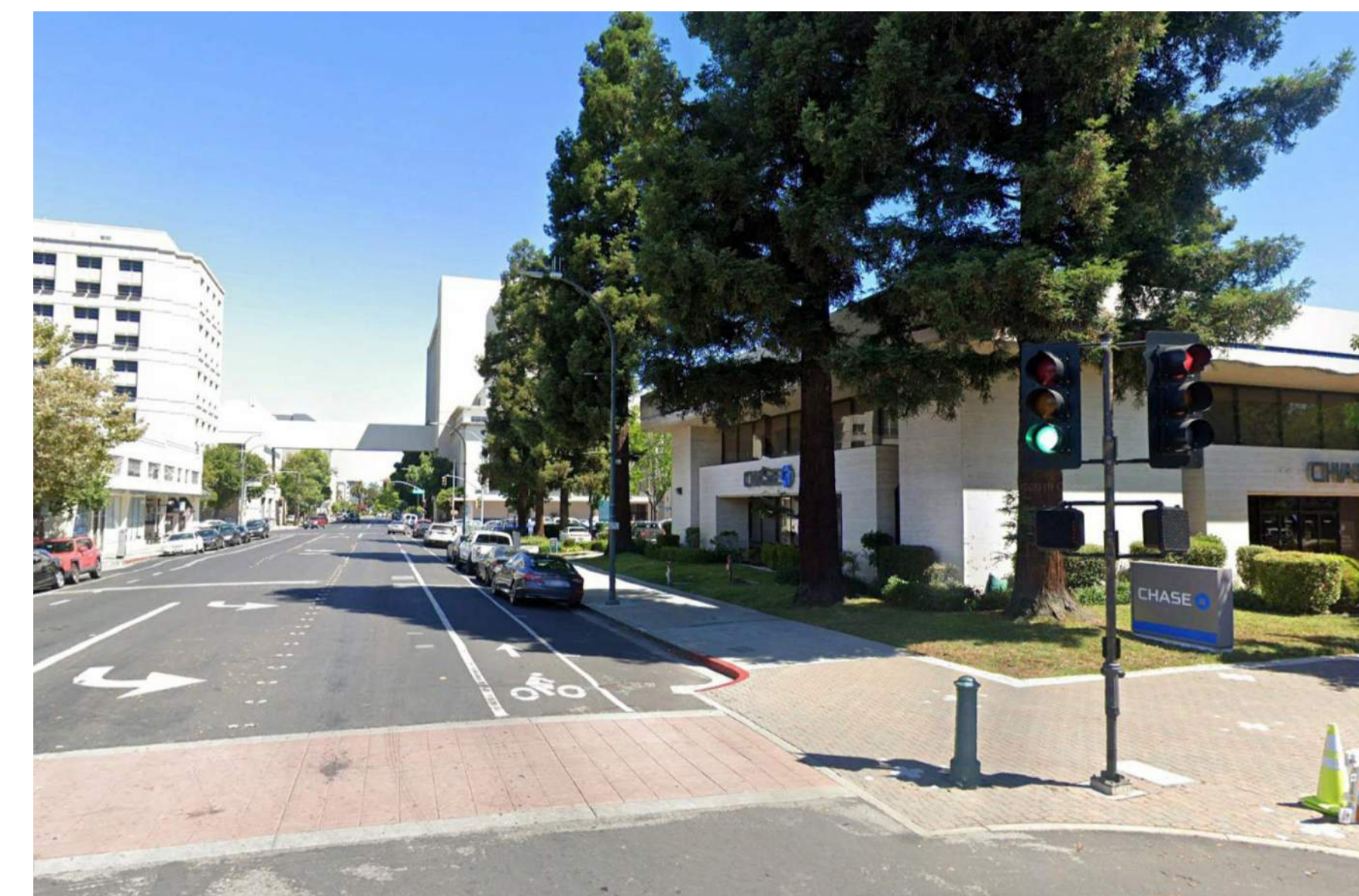
4 BROADWAY / HAMILTON LOOKING WEST



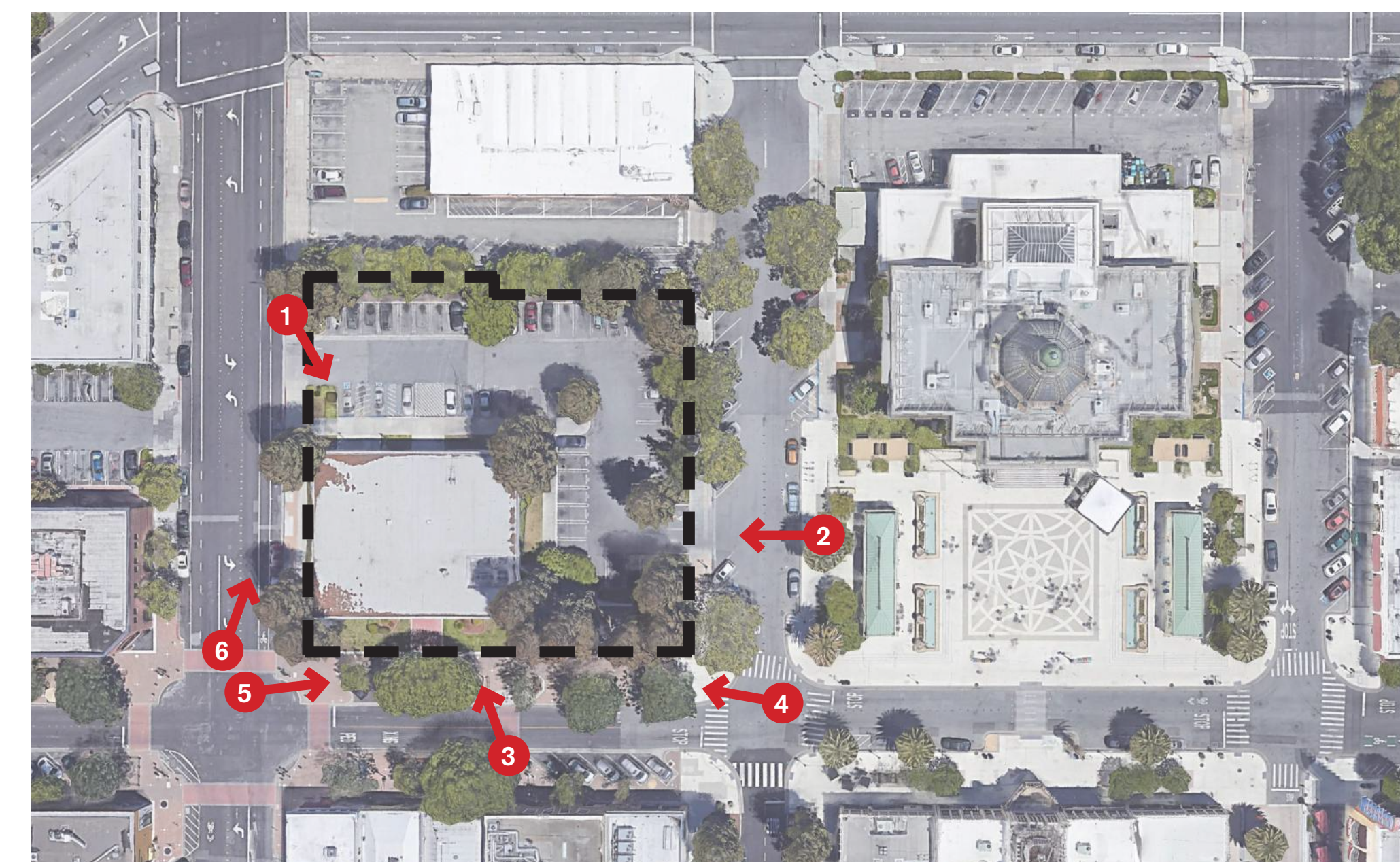
5 BROADWAY / WINSLOW LOOKING EAST



6 STREETScape ALONG WINSLOW



KEY PLAN



2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

EXISTING SITE
CONDITIONS

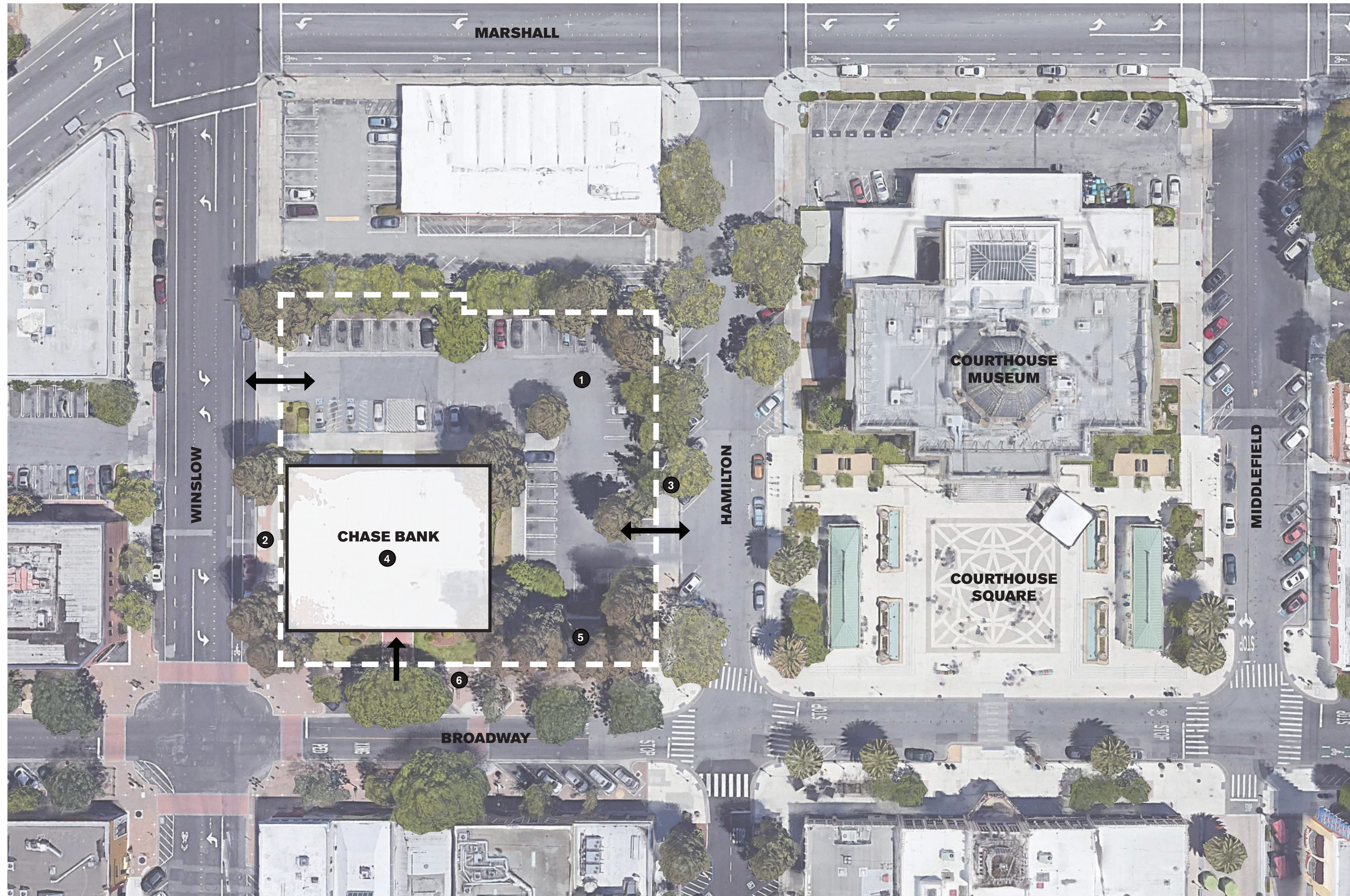
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G-004

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REVISION LIST	DATE
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2300 BROADWAY
 Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00
 DATE: 10/22/2021
 SCALE: 1/8" = 1'-0"

SHEET TITLE:
EXISTING SITE PLAN

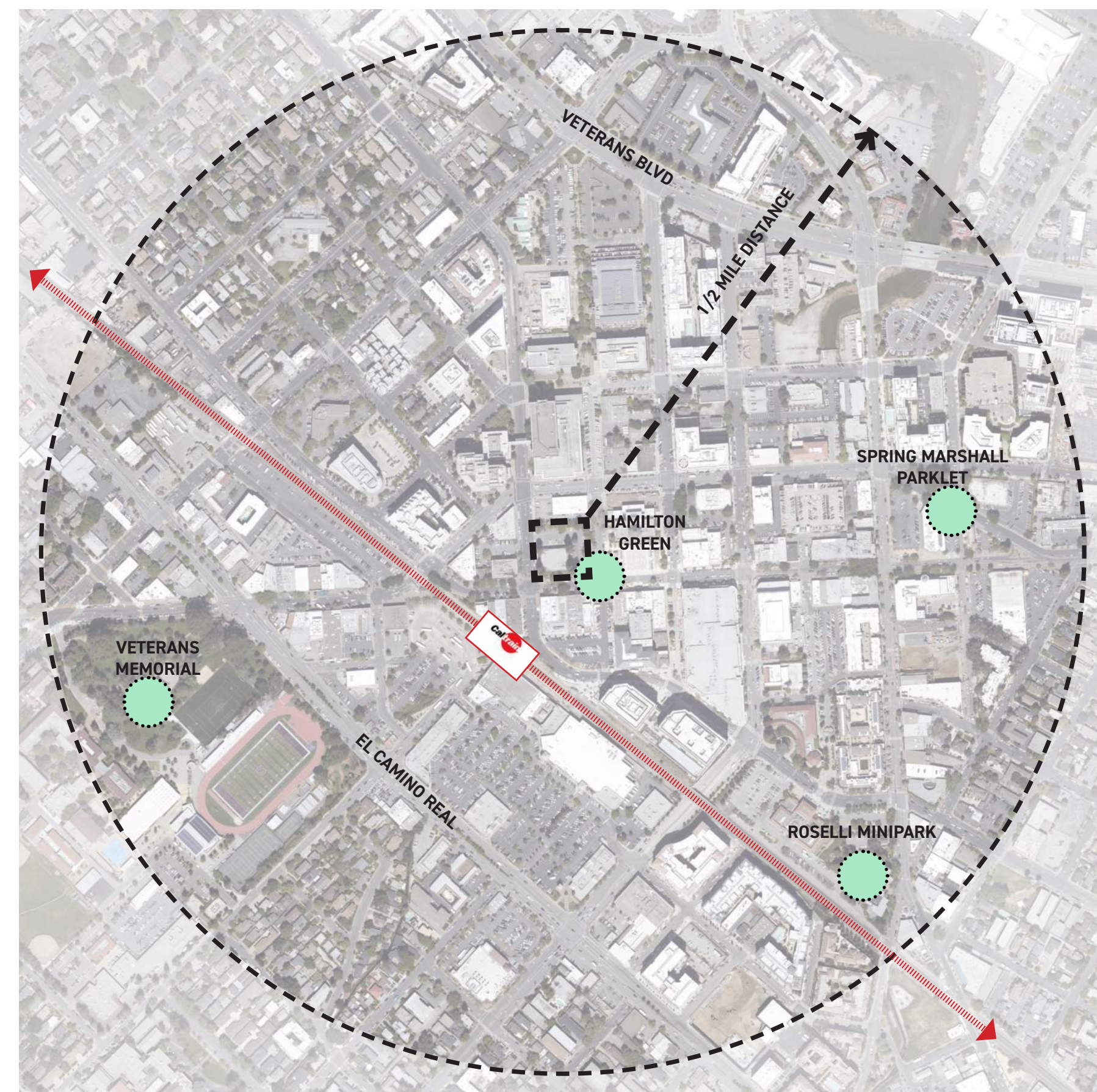
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G-005

EXISTING SITE PLAN LEGEND

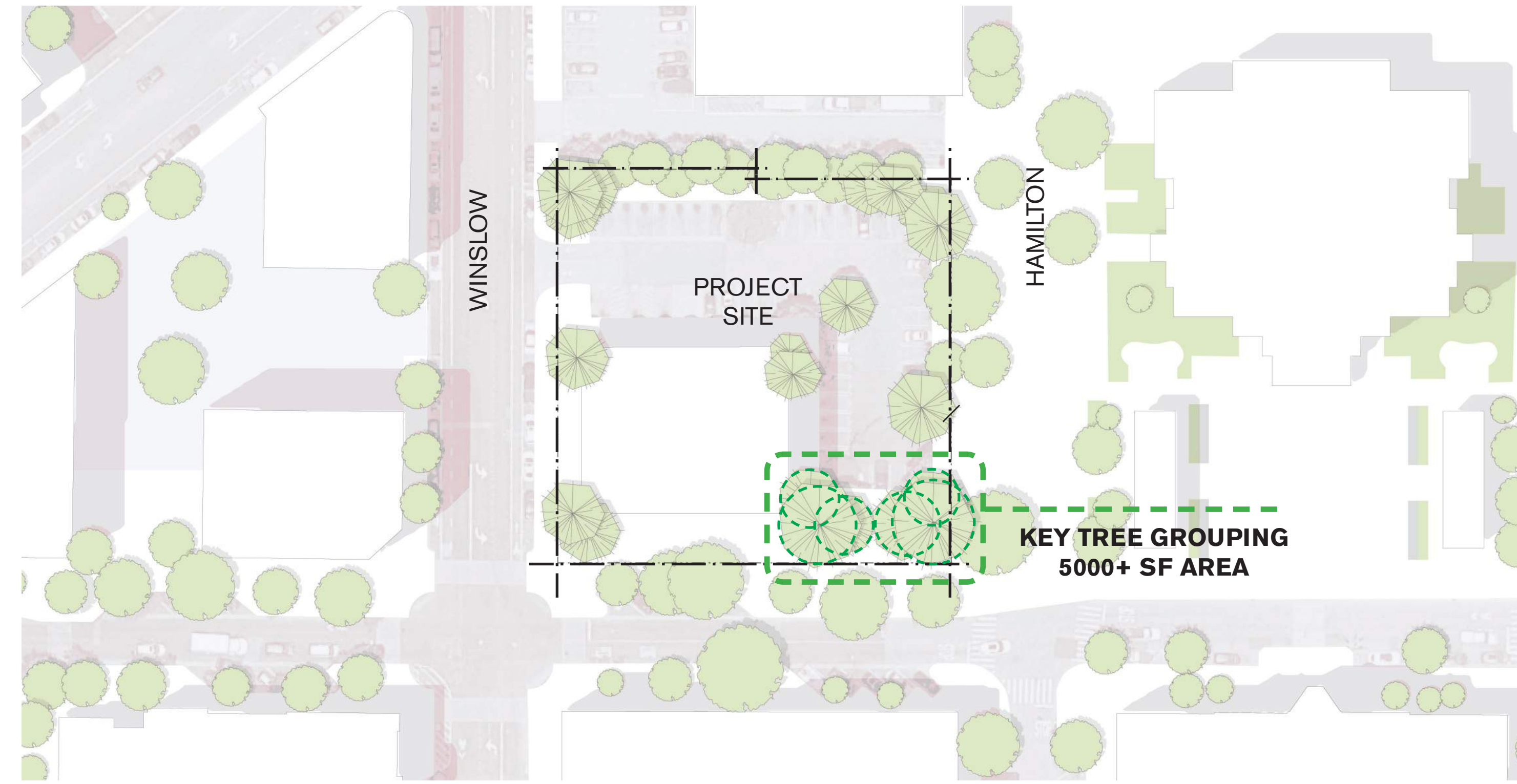
- 1 PAVED SURFACE PARKING LOTS
- 2 NO STREETScape ON WINSLOW
- 3 NO INTERACTION WITH HAMILTON
- 4 UNDERUTILIZED PROPERTY
- 5 SITE WALLS ENCRoACH ON TREES
- 6 DOES NOT CONTRIBUTE TO BROADWAY'S ACTIVITIES AND USES

10/24/2021 10:09:35 AM

CREATE GREEN SPACE DOWNTOWN



PRESERVE THE REDWOOD GROVE



CREATE COMMUNITY BENEFITS



Community for All



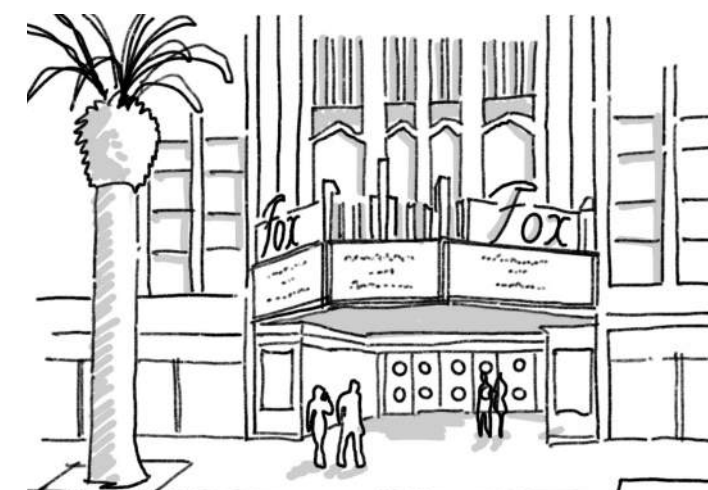
Active Storefronts



Community Partnerships



Green Space Downtown



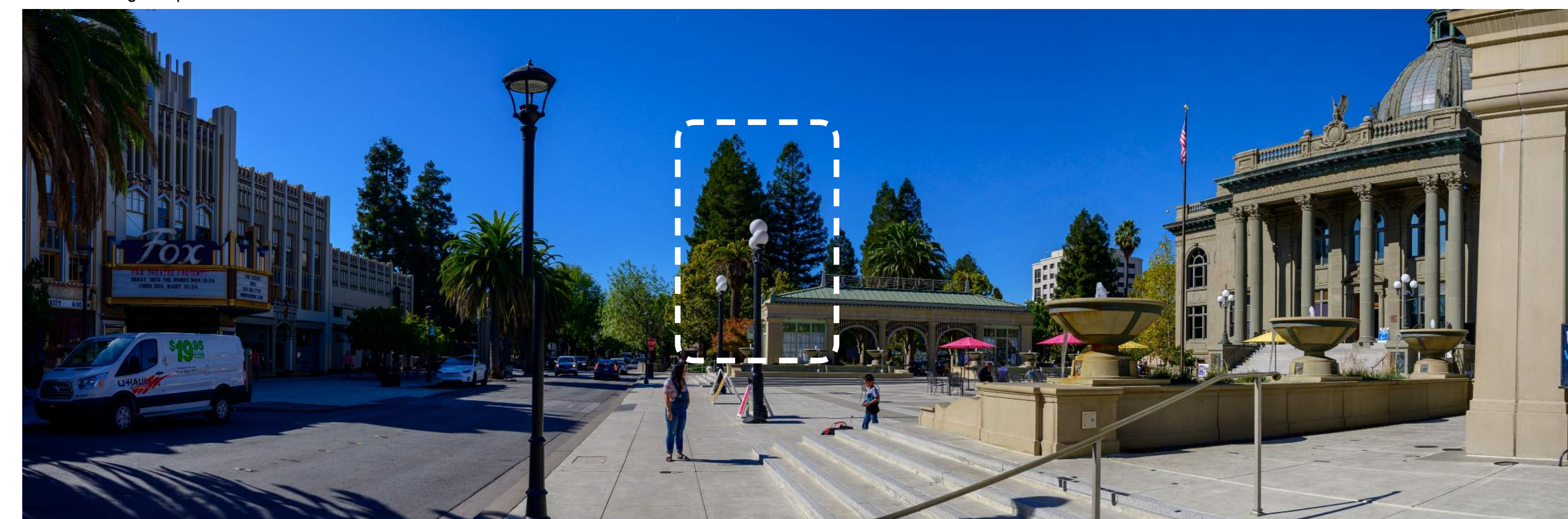
Public Amenities



Support Cycling



The existing "Sequoia Grove" on site



The existing "Sequoia Grove" from across Courthouse Square

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2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

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SCALE:

SHEET TITLE:

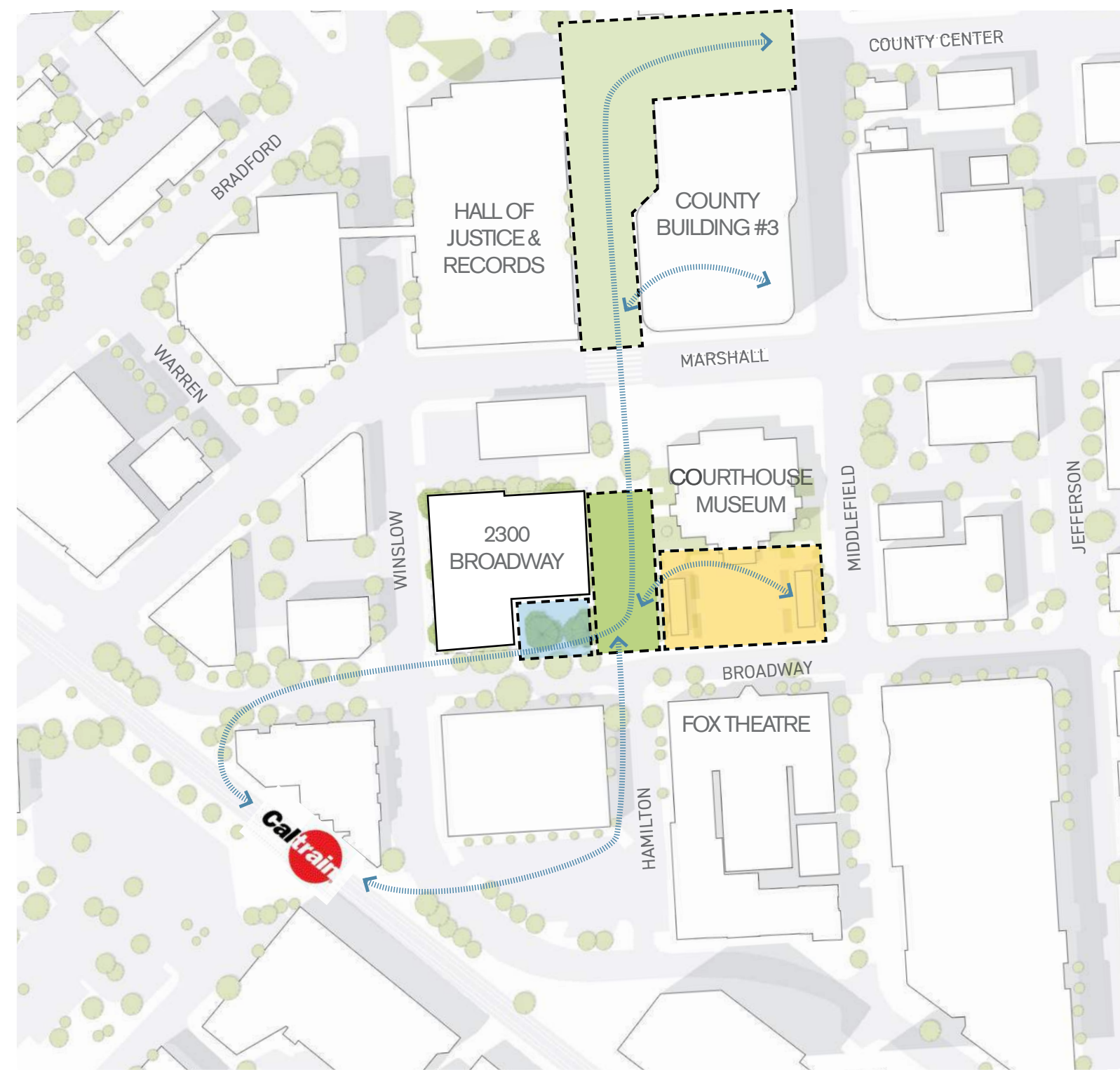
PROJECT GOALS & CONCEPTS

SHEET NO.:

G-006

10/24/2021 10:09:35 AM

STITCH INTO THE LARGER PEDESTRIAN NETWORK



The Project has multiple opportunities to build upon Redwood City's pedestrian-friendly and regionally-connected potential. Creating a pedestrian only Hamilton Green and linking it to the larger pedestrian pathway from Caltrain to County and office buildings creates a safe transit oriented arrival into downtown.

PRESERVE A SENSE OF PLACE



Bistros on Broadway



The Fox Theatre

2300 Broadway is located at the intersection of Broadway and Hamilton Street. Broadway's thriving shops and bistros support a sidewalk community that has made Redwood City one of the most successful downtowns in the Bay Area. Across the street, the grand Fox Theatre makes for a memorable icon. It is places like these that make Redwood City's downtown life so great.

The Project site at 2300 Broadway is currently underutilized in this exceptional context. This site is mostly given over to surface parking areas and a squat, beige bank building that offers little to the life of downtown aside from the function of the bank itself. While the landscape has beautiful trees, the public's access to and ability to enjoy their canopy could be improved - currently there are low walls running through the redwood grove where one could imagine a path with benches instead. The rest of the landscaped areas pull back from the sidewalk - distinctly in opposition to the guidelines of the Downtown Precise Plan and the urban character of the previously mentioned neighboring blocks of Broadway.

With other pedestrian improvements underway, Hamilton Street has the potential to become a pedestrian throughfare linking CalTrain to Courthouse Square, County Building 3, and other parts of Redwood City to the North. With further improvement, it has the potential to support a larger network of multi-modal transportation to and from downtown.



Intersection of Broadway and Hamilton, with the site's existing Redwood trees

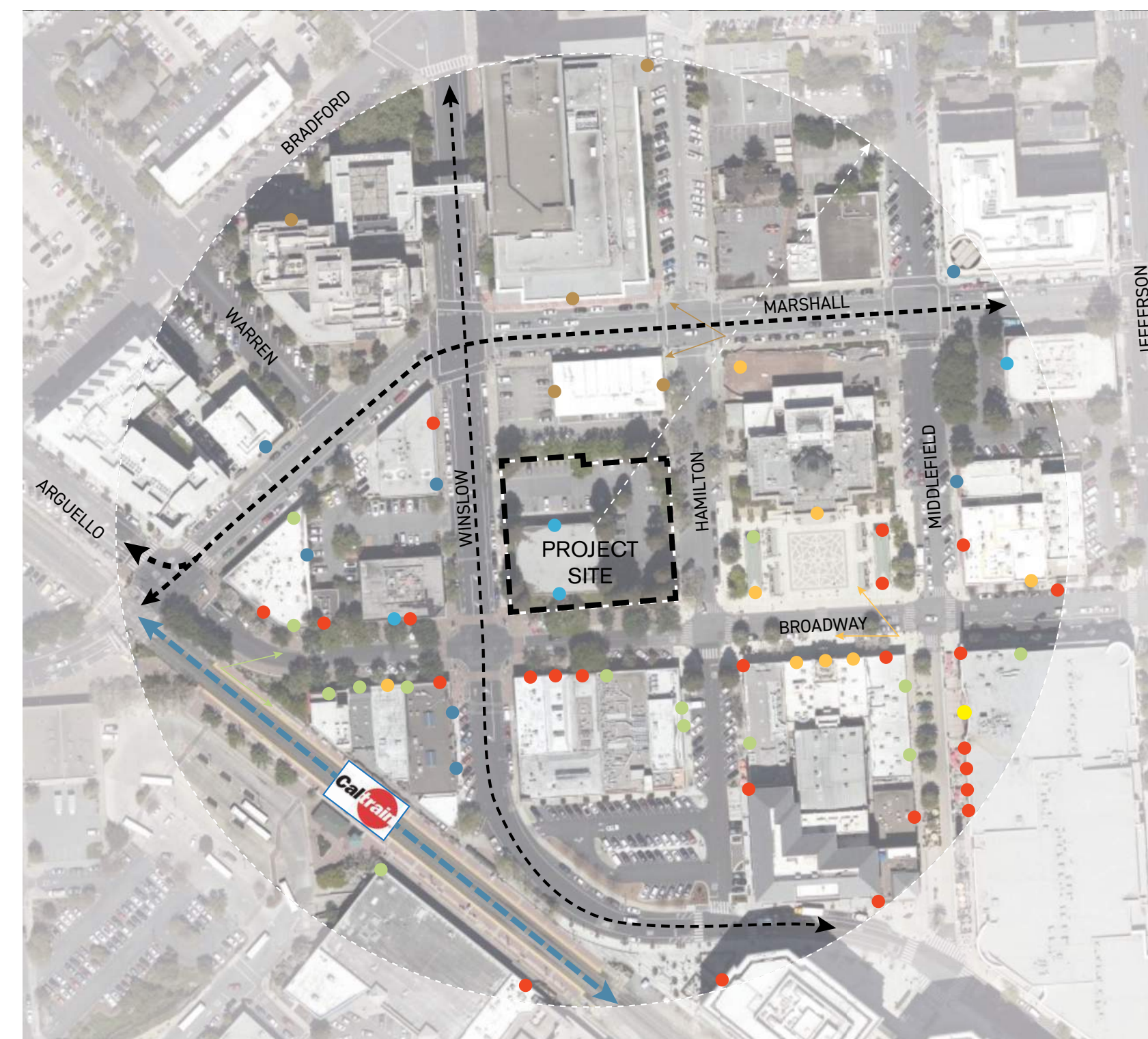


Current view along Broadway



Current view along Hamilton Street

CREATE AN ACTIVE URBAN EDGE

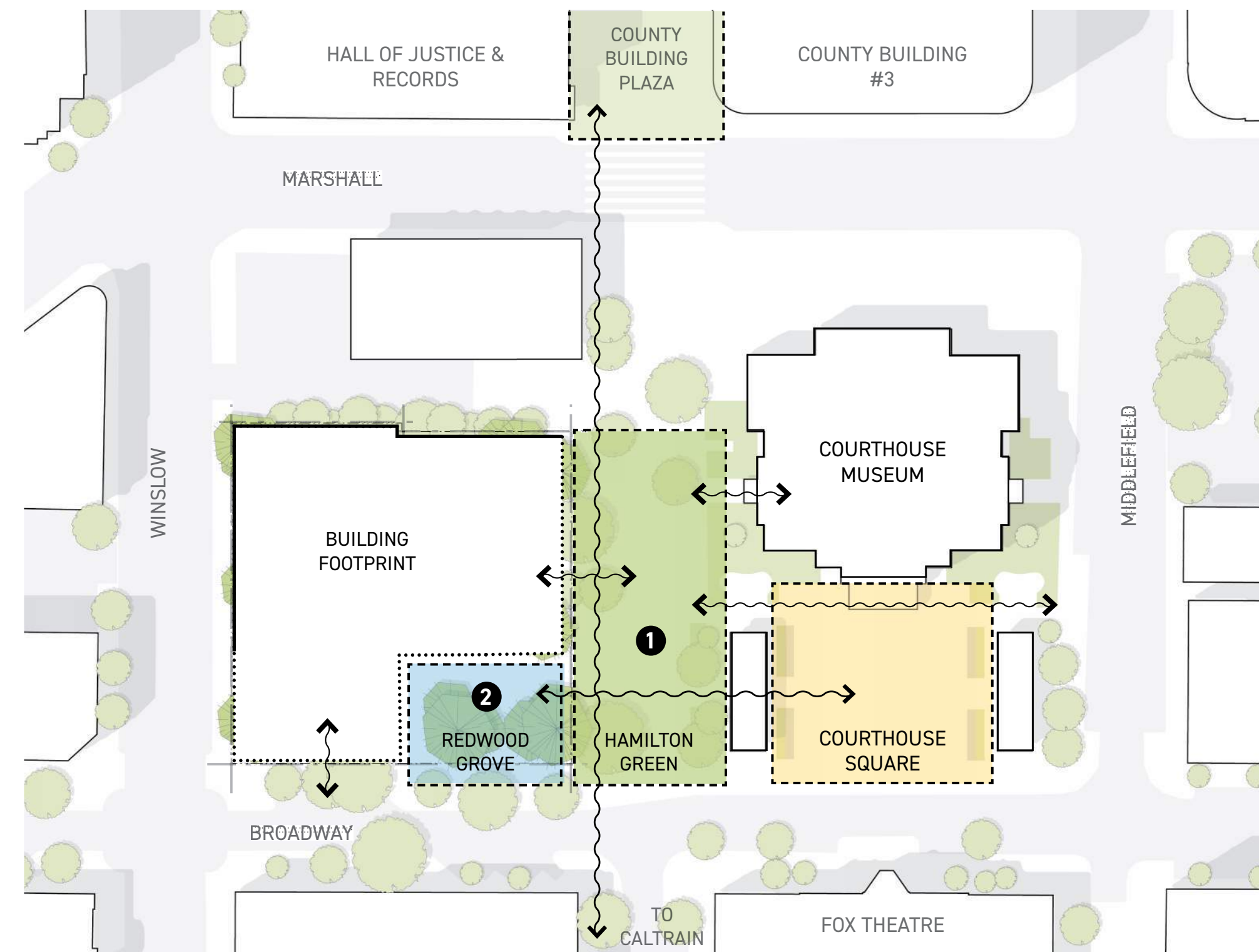


This context map illustrates the current distribution of active uses along Broadway and the Project's proximity to CalTrain. We can see from the current uses on site that this block is under-contributing to the rich life of Broadway.

This project intends to bring active uses, public outdoor space, family-friendly program, and a compelling streetscape to both Broadway and Hamilton Street. This will allow the block to contribute its fullest potential to the character of Broadway and downtown Redwood City.

- Food / Cafe
- Civic / Cultural
- Entertainment
- Retail
- Bank
- Professional
- County

DOWNTOWN PLACEMAKING OPPORTUNITY



The Project will work with the City and community to create new publicly-accessible spaces that support the current offerings of Courthouse Square. These will stand alone as memorable places, Redwood Grove & Hamilton Green, and will stitch respectfully into their context to support a Downtown which is more than the sum of its parts. These two publicly-accessed spaces will be at ground level, accessible and barrier-free, and contribute much to the public realm.

1 Hamilton Green

Envisioned as a pedestrian-only public space to support Courthouse Square, the Project will work with the city's Parks, Recreation and Community Services to develop a space that meets the city's needs for downtown green space and contributes meaningfully to public life.

2 Redwood Grove

By saving and improving upon the current Redwood trees at the Southeast corner of the site, the Project will create roughly 5000 sf of naturally-landscaped public outdoor space that will allow the community better interaction with the trees, their shade, and their lovely understorey.

WRNS STUDIO

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ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY

Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT GOALS & CONCEPTS

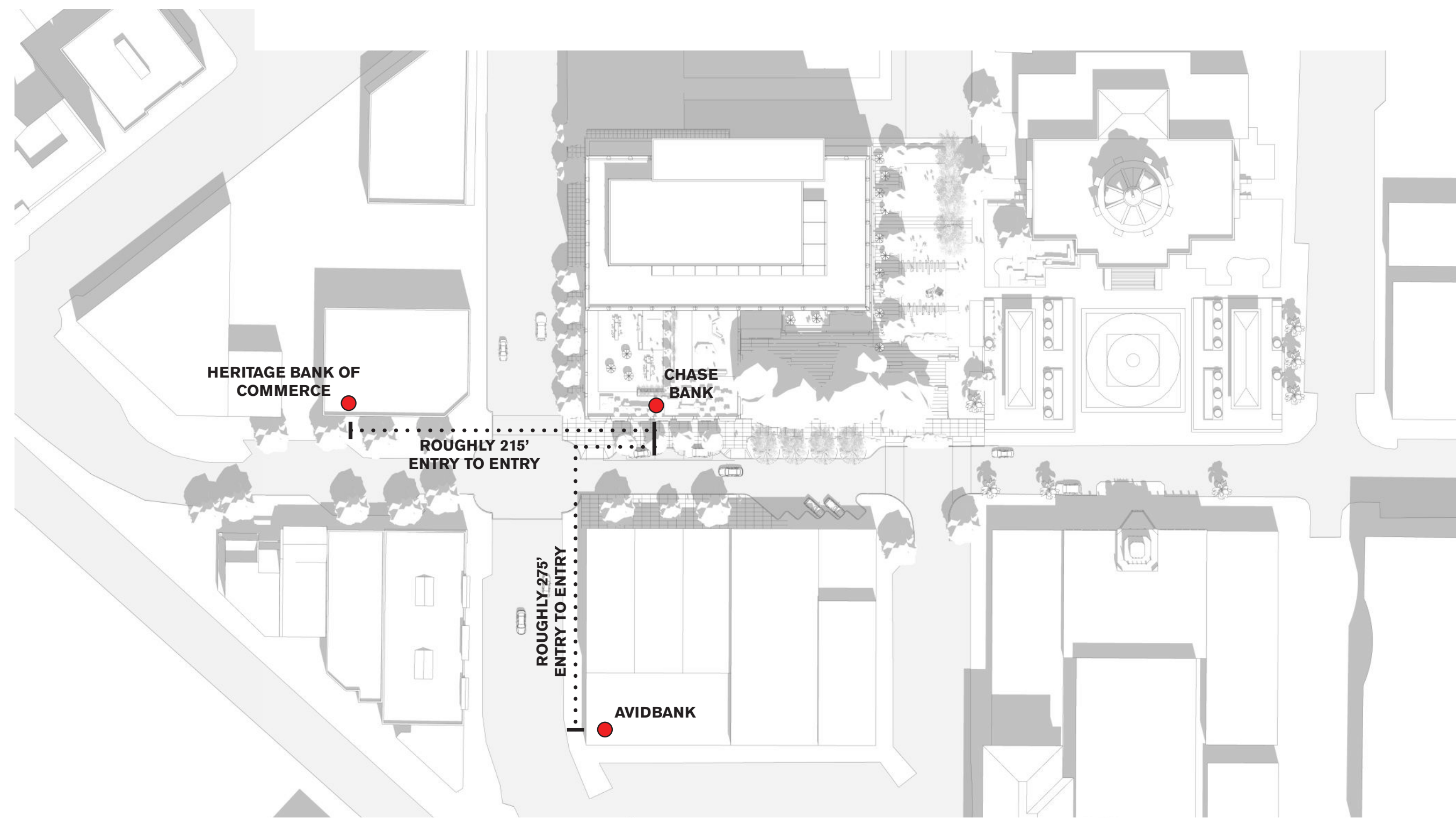
SHEET NO:

G-007

SECTION 2.2 USE REGULATIONS

DTPP 2.2.1 USE REGULATIONS CHART

Financial services shall be > 200 ft. from each other.



SECTION 2.5 FRONTAGE NARRATIVE

WE ASK THAT AN AMENDMENT BY MADE TO SECTION 2.5.2.E AND 2.5.2.D TO ALLOW THE PRESERVATION OF THE EXISTING REDWOOD GROVE ON THE SOUTHEAST CORNER OF THE 2300 BROADWAY SITE.

BY SAVING AND IMPROVING UPON THE CURRENT REDWOOD TREES AT THE SOUTHEAST CORNER OF THE SITE, THE PROJECT WILL CREATE ROUGHLY 5000 SF OF NATURALLY-LANDSCAPED PUBLIC OUTDOOR SPACE THAT WILL ALLOW THE COMMUNITY BETTER INTERACTION WITH THE TREES, THEIR SHADE, AND THEIR LOVELY UNDER STORY

THESE TREES LIVE AT A UNIQUE LOCATION IN RELATION TO HAMILTON AND THE COURTHOUSE SQUARE. THEY ARE ABLE TO DEFINE AND MARK THE CORNER, WHILE BEING FAR ENOUGH SOUTH TO SHADE SOME OF THE SQUARE AND MUCH OF HAMILTON. THE PROJECT SITE AT 2300 BROADWAY IS CURRENTLY UNDERUTILIZED IN THIS EXCEPTIONAL CONTEXT. THIS SITE IS MOSTLY GIVEN OVER TO SURFACE PARKING AREAS AND A SQUAT, BEIGE BANK BUILDING THAT OFFERS LITTLE TO THE LIFE OF DOWNTOWN ASIDE FROM THE FUNCTION OF THE BANK ITSELF. WHILE THE LANDSCAPE HAS BEAUTIFUL TREES, THE PUBLIC'S ACCESS TO AND ABILITY TO ENJOY THEIR CANOPY COULD BE IMPROVED - CURRENTLY THERE ARE LOW WALLS RUNNING THROUGH THE REDWOOD GROVE WHERE ONE COULD IMAGINE A PATH WITH BENCHES INSTEAD. THE REST OF THE LANDSCAPED AREAS PULL BACK FROM THE SIDEWALK - DISTINCTLY IN OPPOSITION TO THE GUIDELINES OF THE DOWNTOWN PRECISE PLAN AND THE URBAN CHARACTER OF THE NEIGHBORING BLOCKS OF BROADWAY.

SO WHILE THE PROPOSED BUILDING SETS BACK FROM THIS CORNER, THE IMPROVED LANDSCAPE FOSTERING MORE INTERACTION WITH THE UNDER STORY OF THE REDWOODS DOES COME DIRECTLY TO THE SIDEWALK EDGE, THUS MAKING THE OUTDOOR SPACE HOLD THE CORNER.

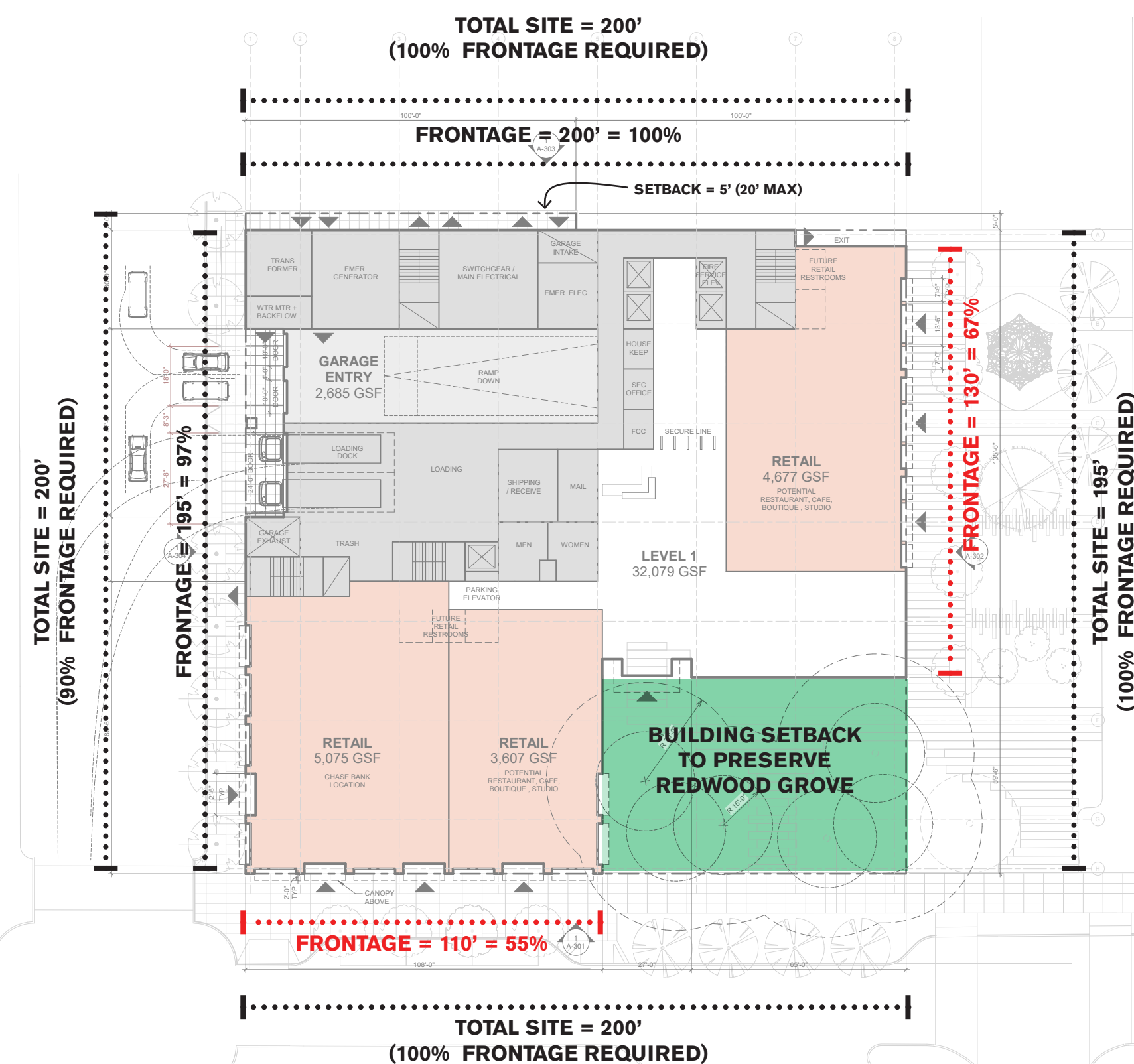
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SECTION 2.5 FRONTAGE REQUIREMENTS

DTPP 2.5.2.D STANDARDS

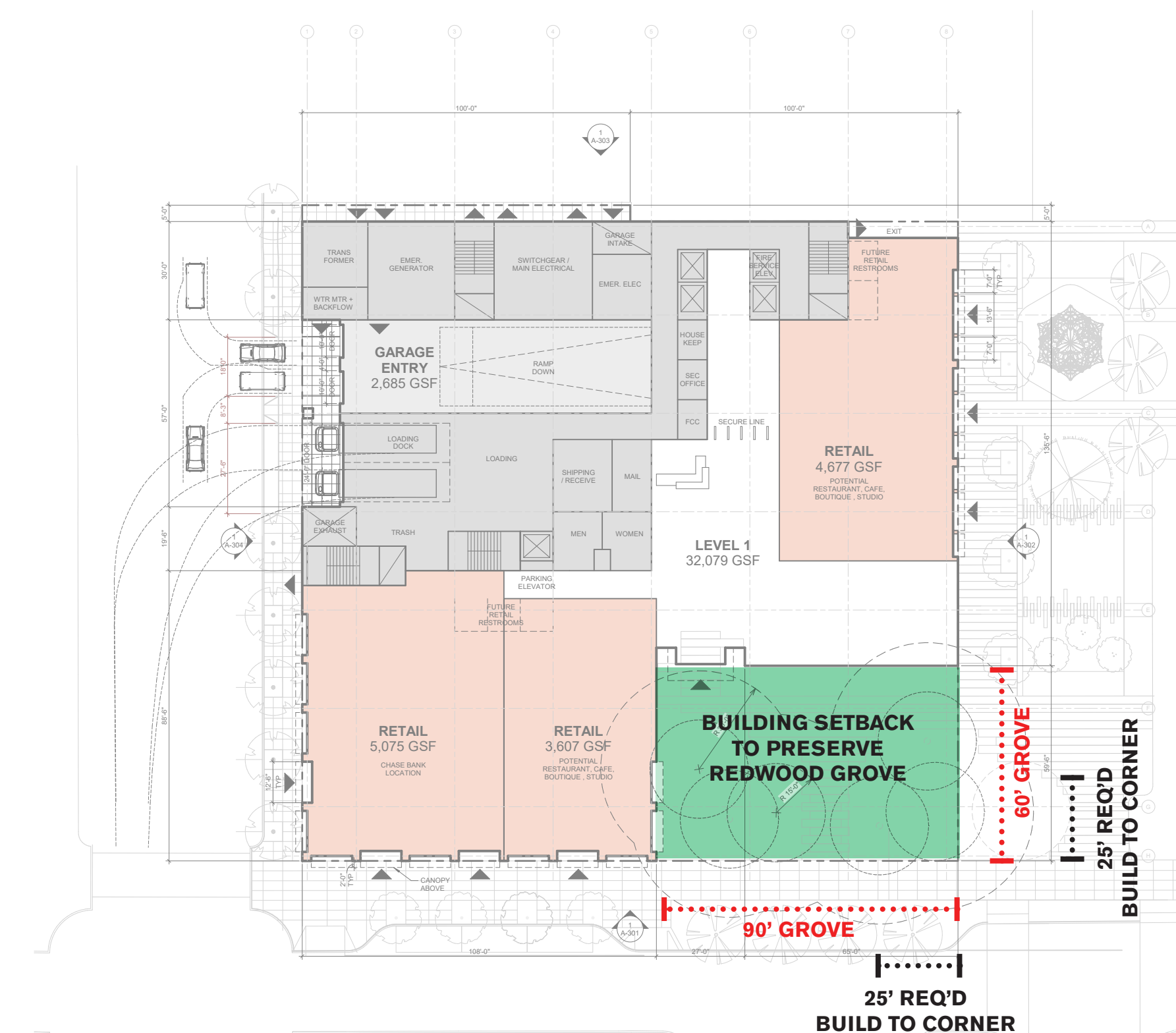
- Frontage coverage shall be no less than the minimum percentage shown on the Building Placement and Landscaping Chart, determined by Corridor Type.
- The frontage coverage requirement is applied to the portion of the primary building mass within the required minimum building height (see 2.7. Building Height).
- The minimum frontage coverage shall be calculated as a percentage of the distance measured between the minimum side setback lines. For corner parcels without a Downtown Core Street frontage, this frontage distance can also be measured using the minimum front setback lines as shown in the Frontage Coverage diagram.
- For corner parcels fronting a Downtown Core Street in combination with any other Corridor Type, 100% frontage coverage and 0 foot setback shall be maintained along the entire Downtown Core Street parcel frontage



SECTION 2.5 BUILD TO CORNER REQUIREMENTS

DTPP 2.5.2.E STANDARDS

- Build-to-corner treatments shall be required as indicated on the Building Placement and Landscaping Map.
- At designated corners, the front setback shall not exceed the minimum front setback shown for the applicable Corridor Type on the Building Placement and Landscaping.
- The minimum front setback shall be held for no less than 25 feet from the corner along each corridor.



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**DTPP COMPLIANCE
SECTION 2.2 & 2.5**

SHEET NO:

G-010

SECTION 2.7 STEPDOWN ZONE REQUIREMENTS

- DTPP 2.7.1.F STANDARDS**
- 3 Story Stepdown Height Zone
 - This Stepdown Height Zone was created to bring heights down from the standard 8 story maximum permitted height in areas with high concentrations of historic resources, potential shadow concerns, or areas adjacent to low-rise neighborhoods.
 - Includes parcels and portions of parcels as designated on the Height Zones Map.
 - Additional regulations are applied to Historic parcels within the 3 Story Zone as indicated on the map

BUILDING HEIGHT AND DISPOSITION REGULATIONS CHART						
Height Zones (Sec. 2.7.1)	12 Story Zone	10 Story Zone	8 Story Zone	5 Story Zone	4 Story Zone	3 Story Zone
Maximum Height (Sec. 2.7.2)	12 floors / 136 feet	10 floors / 114 feet	8 floors / 92 feet	5 floors / 59 feet	4 floors / 48 feet	3 floors / 35 feet
Relation to Single Family Homes	---	---	---	---	Required	Required
Special Corner Treatment	Required at ●	Required at ●	Required at ●	Required at ●	Required at ●	Required at ●
Accessory Buildings	1.5 floors / 14 feet	1.5 floors / 14 feet	1.5 floors / 14 feet	1.5 floors / 14 feet	1.5 floors / 14 feet	1.5 floors / 14 feet
Minimum Height (Sec. 2.7.3)						
Required Minimum Height	3 floors / 35 feet	3 floors / 35 feet	3 floors / 35 feet	3 floors / 35 feet	3 floors / 35 feet	3 floors / 35 feet
Maximum Corner Height	Tallest mass located at ◻	Tallest mass located at ◻	Tallest mass located at ◻	Tallest mass located at ◻	Tallest mass located at ◻	Tallest mass located at ◻
Building Disposition Types (Sec. 2.7.4)						
Rearyard	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Courtyard	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Tower	Permitted	Permitted	Permitted	---	---	---
Specialized	Discretionary	Discretionary	Discretionary	Discretionary	---	---

Legend:
 Permitted : These elements are allowed, by right, as indicated.
 Required : These elements are required of all new development as indicated.
 Discretionary: These elements may or may not be permitted, subject to consideration by the Planning Manager/Designee
 --- : These elements are not permitted, as indicated.
 12 floors / 136 feet: Maximum or minimum height, measured in habitable floors and in feet, measured from average finish grade.

SECTION 2.7 RESPONDING TO PLACE



Respect Courthouse Museum

Save existing Coast Redwoods

Frame the Square

Downtown Precise Plan allows 136' height, the Project proposes 112' to respect the height of Courthouse Museum, a precedent that has been set by the community in other nearby projects.

Downtown Precise Plan does not allow setbacks at grade, however, the Project proposes saving the beloved Coast Redwoods.

Upper stories of the Project should step back to frame Redwood Grove and Courthouse Square.

SECTION 2.7 STEPDOWN ZONE NARRATIVE

WE ASK THAT AN AMENDMENT BY MADE TO SECTION 2.7.1.F ALLOWING A RANGE OF MINIMUM AND MAXIMUM HEIGHTS AND FLOORS TO BETTER RESPOND TO DIFFERENT PEDESTRIAN SCALES, DATUMS, AND MASSING GESTURES ON BROADWAY AND HAMILTON ELEVATIONS.

THERE ARE TWO REAL DRIVERS TO THE PROJECT APPROACH. ONE IS THE BEST MASSING RESPONSE TO THE SPECIFIC SITE CONTEXT. THE SECOND IN THE DIFFERENT SCALES AND DATUMS OF BROADWAY STREET AND HAMILTON GREEN.

MASSING -

THE MASSING DOES A SERIES OF THREE BIG MOVES AS ILLUSTRATED BY THE "RESPONDING TO PLACE" DIAGRAMS. THE FIRST IS DROP FROM THE ALLOWABLE HEIGHT OF 136' TO 112' TO BETTER RELATE TO THE COURTHOUSE MUSEUM AND NOT BECOME TOO TALL IN RELATION. THE COUNTY BUILDINGS TO THE NORTH OF US DON'T DO THIS, AND IT IS EVIDENT THAT THEY TOWER OVER THE COURTHOUSE DOME. DOING THIS LOPS OFF AT LEAST A FLOOR FROM THE DTPP PRESCRIBED MASSING ENVELOPE, REDUCING THE SF BY ROUGHLY 22,500 SF. THE SECOND MOVE IS PRESERVING THE REDWOOD GROVE AND ALL THAT IT HAS TO OFFER THE PUBLIC. THIS FURTHER REDUCES THE DTPP PRESCRIBED MASSING ENVELOPE BY ROUGHLY ANOTHER 19,500 SF. THE THIRD, AND WHAT WE BELIEVE IS THE MOST IMPORTANT MASSING GESTURE, IS THAT THE TOWER MASS IS PUSHED TO THE NORTH. THIS DOES A FEW VERY IMPORTANT THINGS -

- BY PUSHING THE MASS TO THE NORTH, AND CREATING A SIMPLE BAR OF A BUILDING RATHER THAN AN "L", WE ALLOW THE FACADE OF THE COURTHOUSE MUSEUM TO STILL BE THE BACKDROP OF THE SQUARE. THE "L" CONFIGURATION APPEARS TO OVERSHADOW OR BECOME TO DOMINANT.
- THE PROPOSED MASSING BETTER ALLOWS THE SQUARE TO FLOW INTO HAMILTON GREEN AND THE REDWOOD GROVE WITHOUT FEELING WALLED IN. THE LOWER PORTION OF THE REDWOOD ROOM RELATES TO THE EXISTING PAVILIONS IN THE SQUARE AS OBJECTS IN A LARGER FIELD.
- THE PROPOSED MASSING GIVES THE TREES BREATHING ROOM AND VISIBILITY ALL ALONG BROADWAY. AS NOTED BY CHARLIE DRECHSLER, CITY ARBORIST "...[THE TREES] ARE VISIBLE FROM THE WESTERN NEIGHBORHOOD AND PROVIDE A GREEN BUFFER TO THE NEW SKYLINE IN DOWNTOWN REDWOOD CITY...". BY PUSHING NORTH AND CREATING A SIMPLE BAR, WE DON'T BLOCK OR BOX IN THE REDWOOD TREES. INSTEAD ALLOWING THE GROVE TO BE AN ELEMENT OF ITS OWN WITH THE BUILDING SHOWING DEFERENCE.
- WHILE ANY SCHEME ON THIS SITE MEETS THE SHADING REQUIREMENT OF SECTION 2.7.5, THIS MASSING PRESERVES THE MOST SUNLIGHT TO THE SQUARE THROUGHOUT THE YEAR, AS SHOWN BY THE "SOLAR INCIDENCE" DIAGRAM ON G-012.

STEPDOWN ZONE -

WORKING IN CONJUNCTION WITH THE MASSING, THE STEPDOWN ZONE MAXIMUM AND MINIMUM REQUIREMENTS ARE TOO STRINGENT TO ALLOW THE DESIGN TO RESPOND TO INDEPENDENT STREET CONDITIONS IN THE BEST WAY. IT ALSO LIMITS THE VIABILITY OF RETAIL AND OFFICE TENANTS BE DELINEATING THE FLOOR TO FLOOR HEIGHTS.

ALONG BROADWAY, AT 3 STORIES AND 35', THIS DOES NOT ALLOW MODERN RETAIL FLOOR TO FLOORS OF 16' ON THE GROUND LEVEL, LEAVING ONLY 9.5' FOR EACH OF THE TWO FLOORS ABOVE, MAKING THE OFFICE SPACE UNDESIRABLE. WE ARE PROPOSING 3 STORIES AND 40' TO ALLOW A MINIMIZED GROUND LEVEL OF 15' FLOOR TO FLOOR, WITH TWO LEVELS OF 12'-6" FLOOR TO FLOOR ABOVE.

ALONG HAMILTON, WITH THE PROJECT PROPOSING A PEDESTRIAN ONLY HAMILTON GREEN, WE BELIEVE THE SCALE OF EXPRESSING TWO STORIES BETTER RELATES TO THE NEW HAMILTON GREEN, THE EXISTING PAVILIONS IN THE SQUARE, OFFERS VARIATION, AND ALLOWS A THIRD LEVEL TERRACE WITH BETTER INTERACTION TO THE GREEN AND COURTHOUSE SQUARE.

ABOVE THE EXPRESSED TWO STORIES ALONG HAMILTON, THE MASSING ABOVE IS PROPOSED TO EXTEND INTO THE 60' STEPDOWN SETBACK. THIS ALLOWS THE BENEFITING MASSING MOVES AS DESCRIBED EARLIER, AND ALLOWS THE PROJECT TO REGAIN THE 42,000 SF WITHOUT SACRIFICING THOSE BENEFITS.

SECTION 2.7 RESPONDING TO COURTHOUSE DATUMS



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SECTION 2.7 STEPDOWN ZONE NARRATIVE

SECTION 2.7 RESPONDING TO COURTHOUSE DATUMS

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SHEET TITLE:

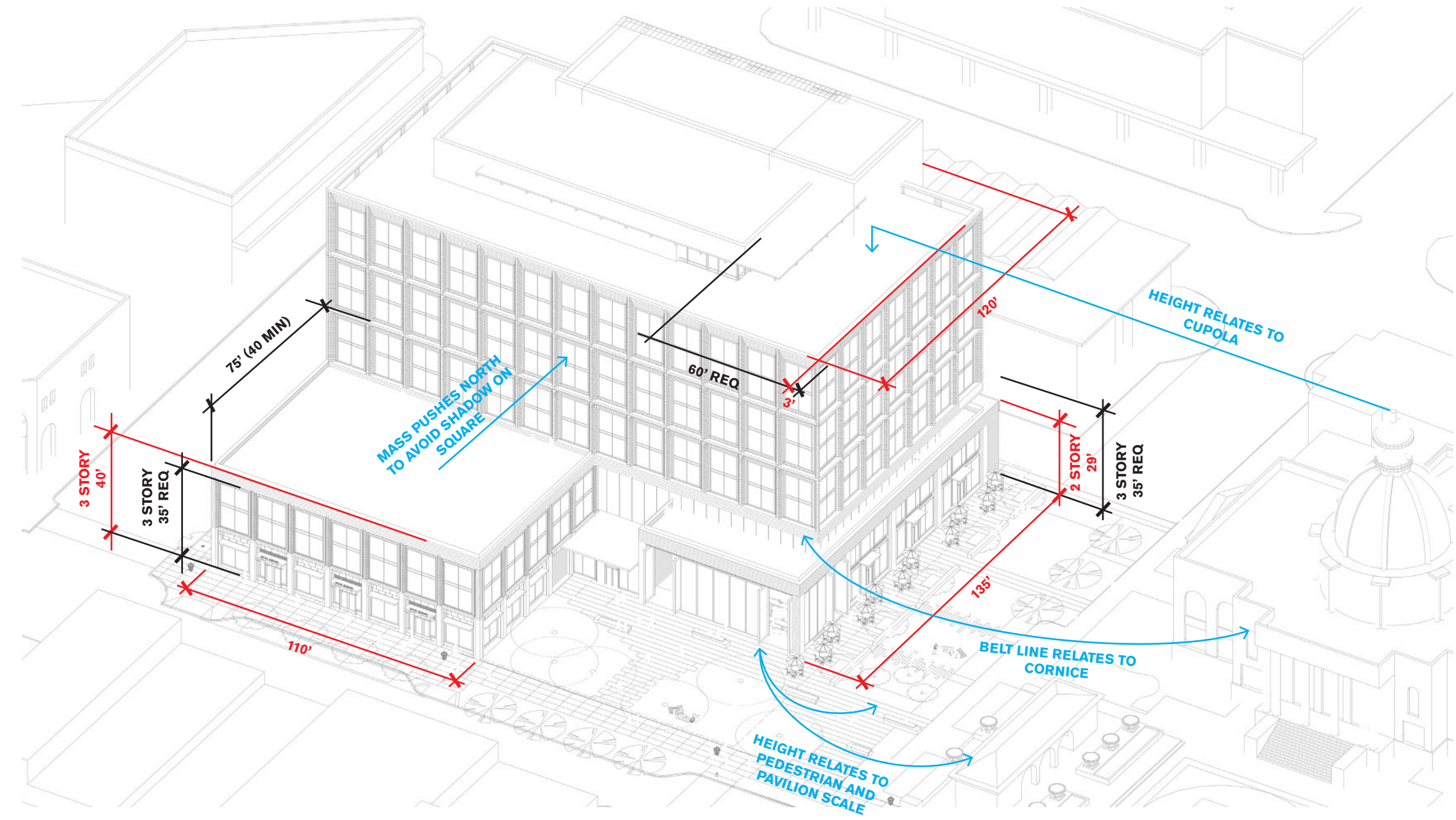
**DTPP COMPLIANCE
 SECTION 2.7**

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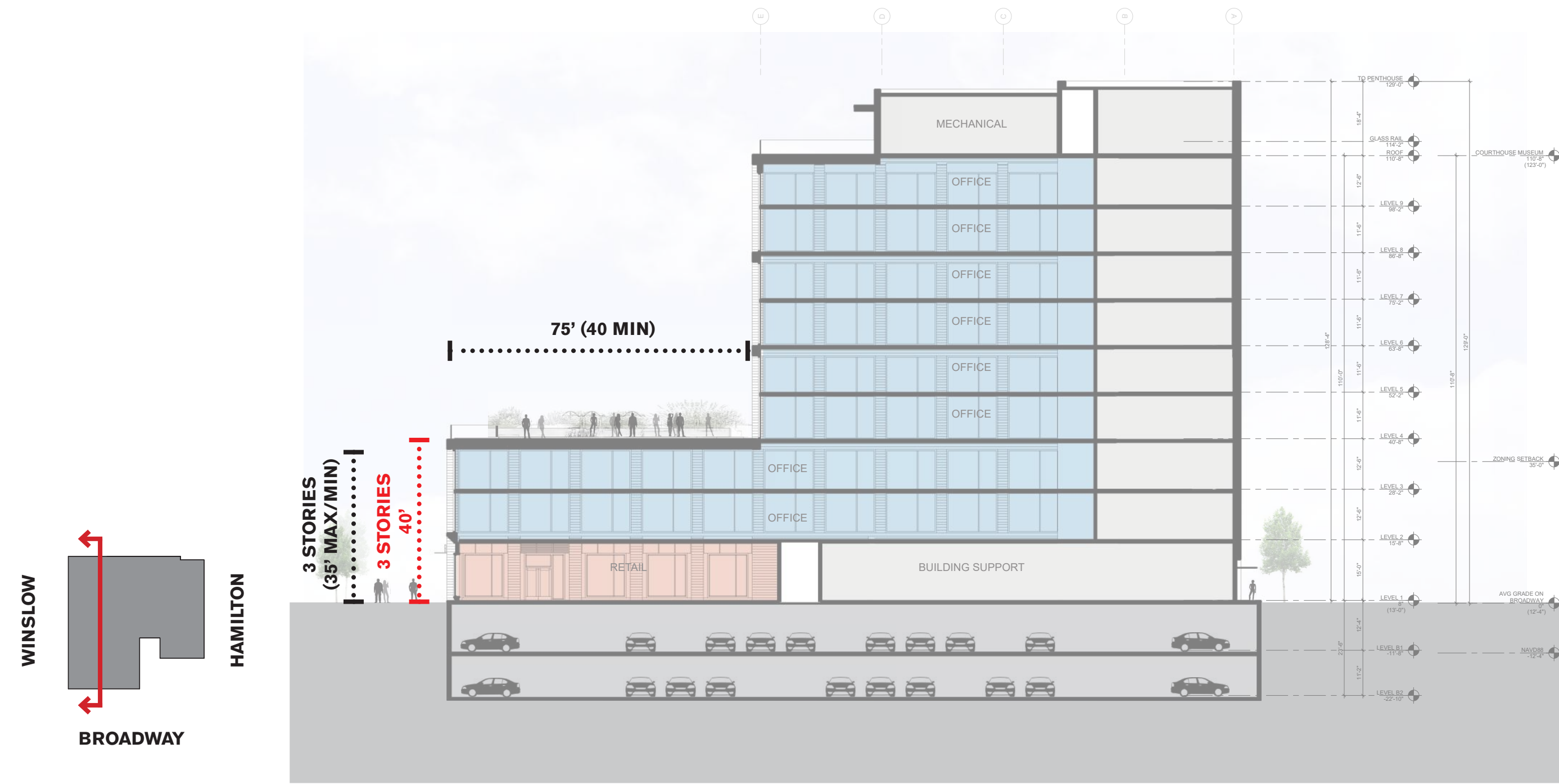
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SECTION 2.7 STEPDOWN ZONE DIAGRAM



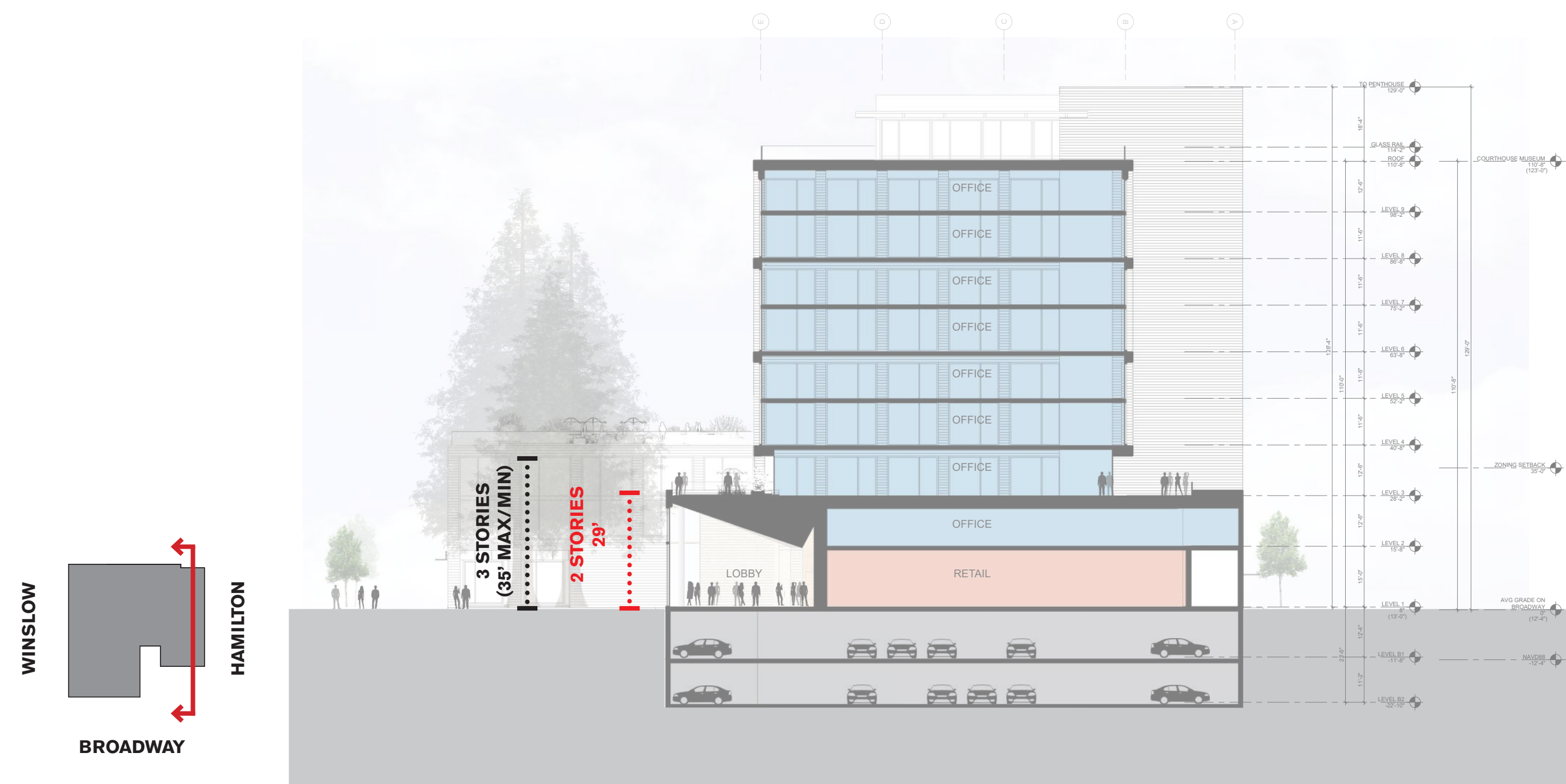
SECTION 2.7 STEPDOWN ZONE SECTION ALONG BROADWAY



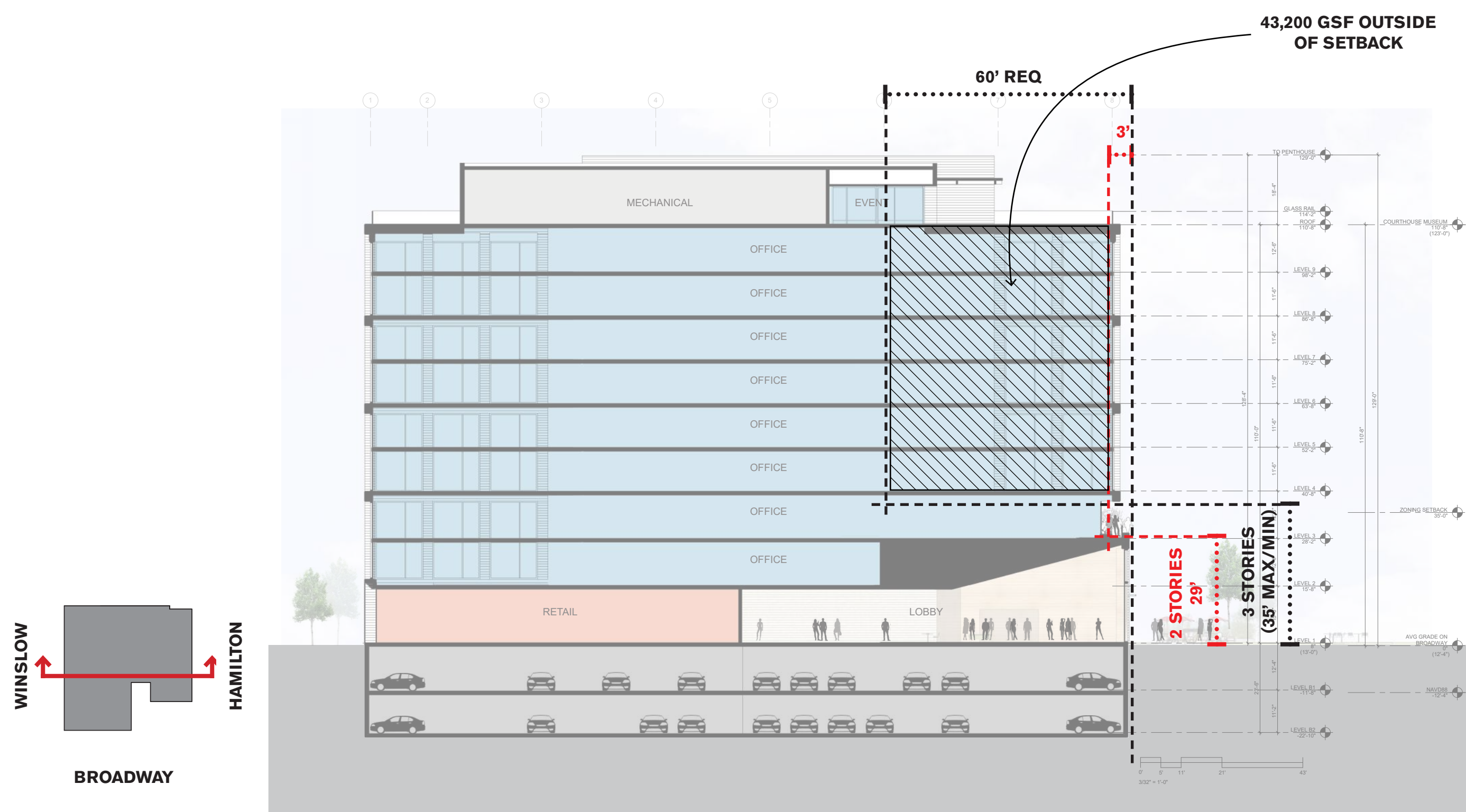
ISSUES	DATE
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SECTION 2.7 STEPDOWN ZONE SECTION AT REDWOOD GROVE



SECTION 2.7 STEPDOWN ZONE SECTION ALONG HAMILTON



2300 BROADWAY
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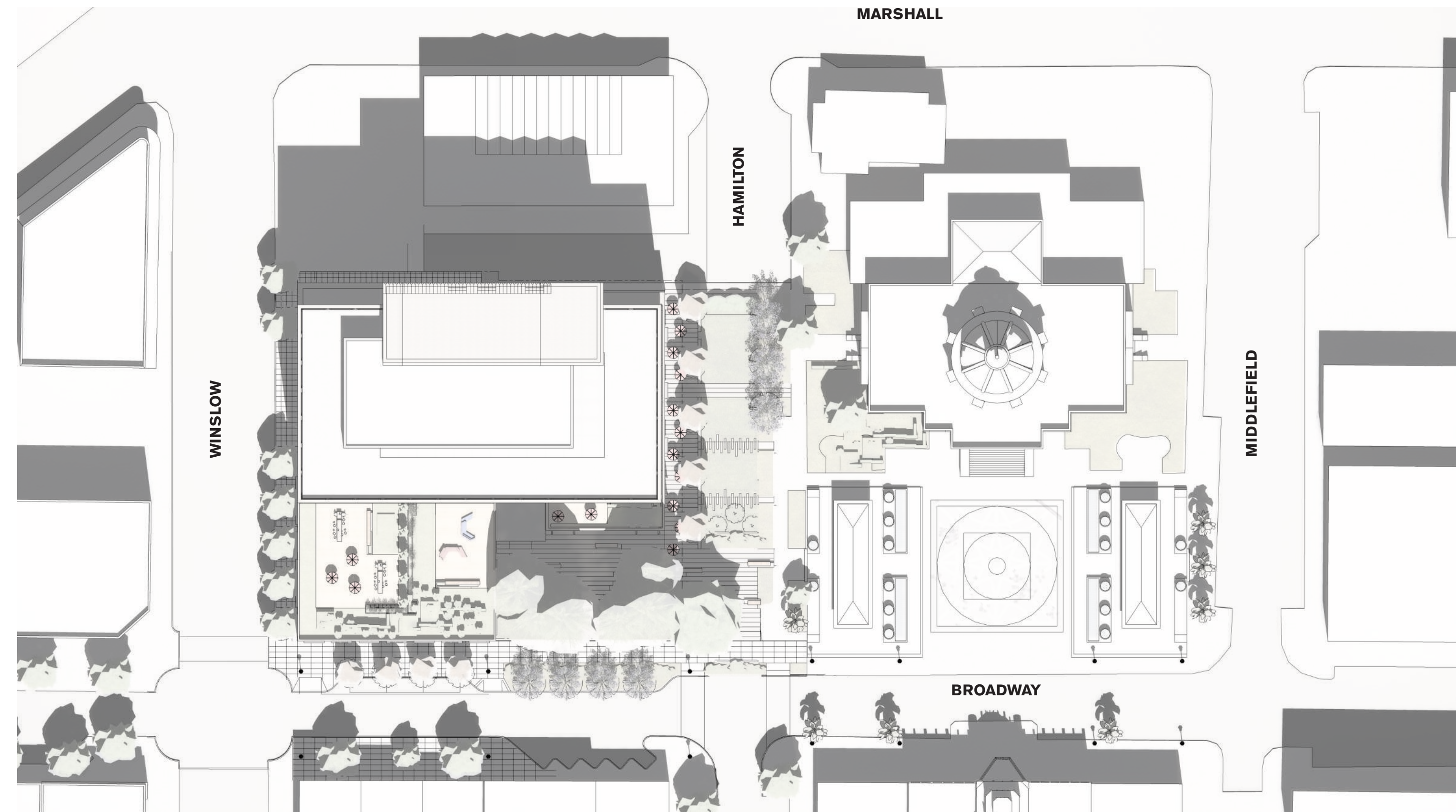
SECTIN 2.7.5 SHADING REQUIREMENTS

DTPP 2.7.5 GUIDELINES

a. No new structure built within the Downtown Precise Plan Area should cause any of the following parcels and building elements to be more than 50% in shadow at 12:00pm on the Spring Equinox. Parcels and building elements which exceeded the shading standard at the time of the adoption of the Downtown Precise Plan shall not be subject to this policy. Maximum permitted heights have been calibrated in this Section to ensure that this guideline is met by all new development, which is studied in detail in the Environmental Impact Report. Compliance with subsections 2.7.1 through 2.7.3 of this Section shall therefore be sufficient to indicate compliance with this guideline.

- Shadow-sensitive public open spaces (Courthouse Square, Theatre Way, City Hall Park, Library Plaza, Hamilton Green, Depot Plaza, Little River Park, Redwood Creek, or City Center
- Plaza as shown on the Downtown Precise Plan Public Open Spaces Map)
- Downtown parcels with lower maximum permitted building heights adjacent to parcels with higher maximum permitted heights;
- Residential properties located outside but adjacent to the DTPP area;
- Light-sensitive features on historic resources; and
- Historic facades

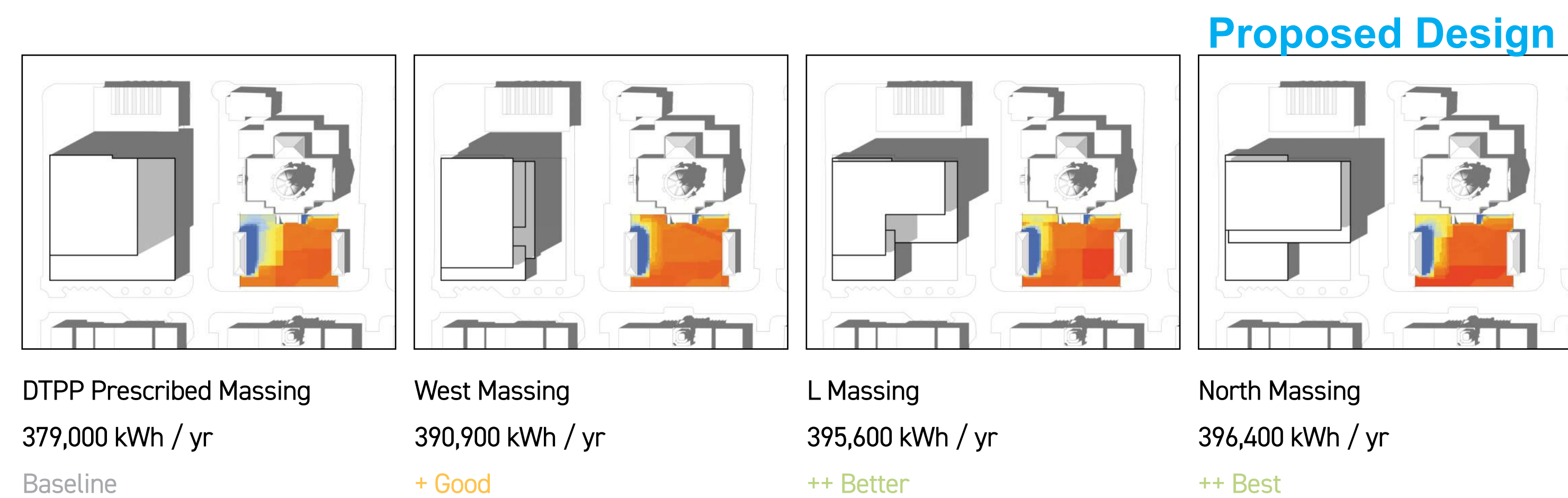
SHADING STUDY - 12:00PM SPRING EQUINOX



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SOLAR INCIDENCE - YEARLY TOTAL



All massings meet or exceed DTPP shadow impact guidelines
0% courthouse square shading at 12:00pm on spring equinox

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**DTPP COMPLIANCE
SECTION 2.7.5**

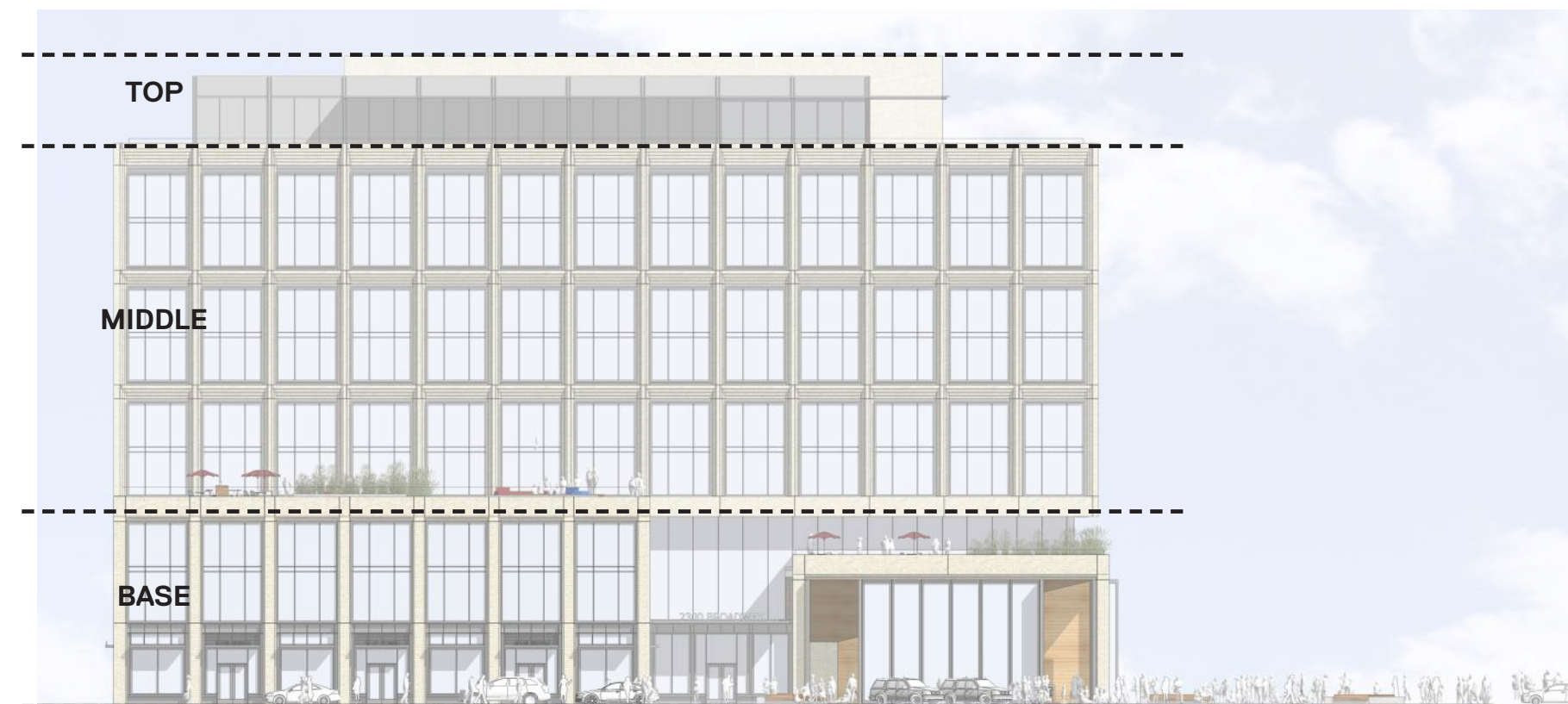
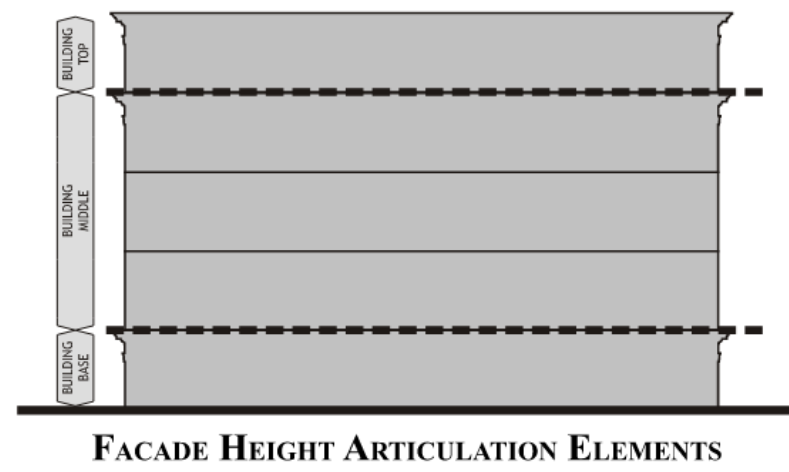
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G-013

DETAILING PER DTPP 2.8.2

DTPP 2.8.2.B STANDARDS

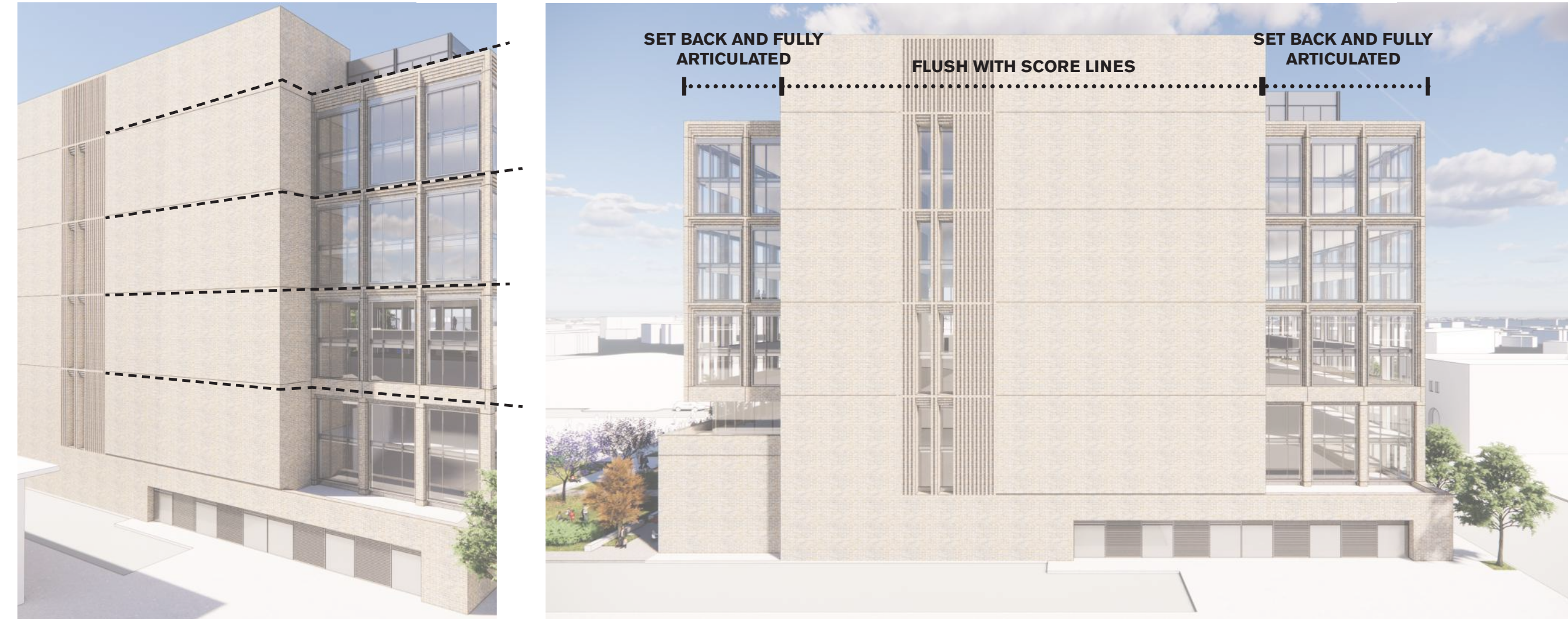
- All Façades shall be divided into three Façade Height Articulation Elements, as follows:
- Building Base: The entire lowermost floor or two floors of each Façade shall be designated as the "Building Base," and shall be visibly articulated to aesthetically anchor the building to the ground.
 - Building Top: The entire uppermost floor or two floors of each Façade shall be designated as the "Building Top," and shall be visibly articulated to aesthetically complete the building.
 - Building Middle: The remainder of each Façade shall be known as the Building Middle.



DETAILING PER DTPP 2.8.2

DTPP 2.8.2.C STANDARDS

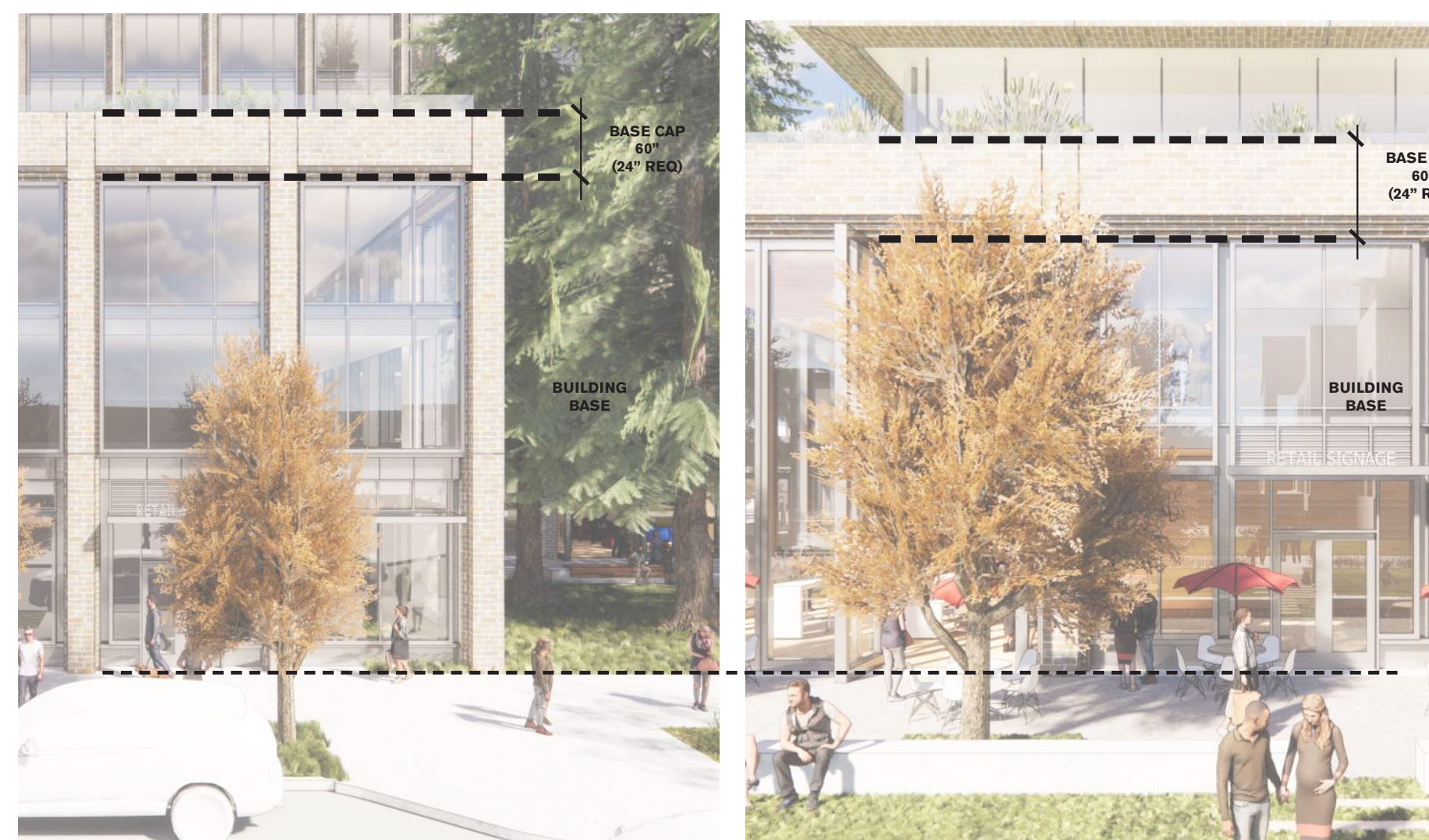
- When Sidewalls or Rearwalls are located less than 5 feet from a side or rear property line, or are located within a courtyard, Height Articulation using flush wall treatments is permitted. Flush wall treatment Height Articulations shall consist of the following treatments:
- Horizontal score lines matching top, bottom, and/or other lines of Façade horizontal articulation.



DETAILING PER DTPP 2.8.3

DTPP 2.8.3.A STANDARDS

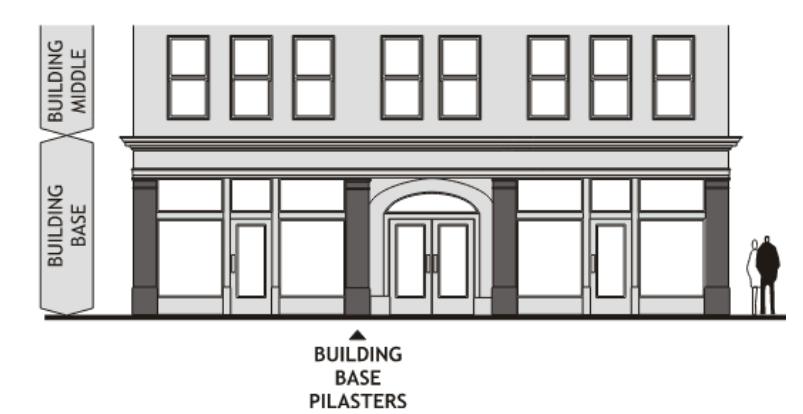
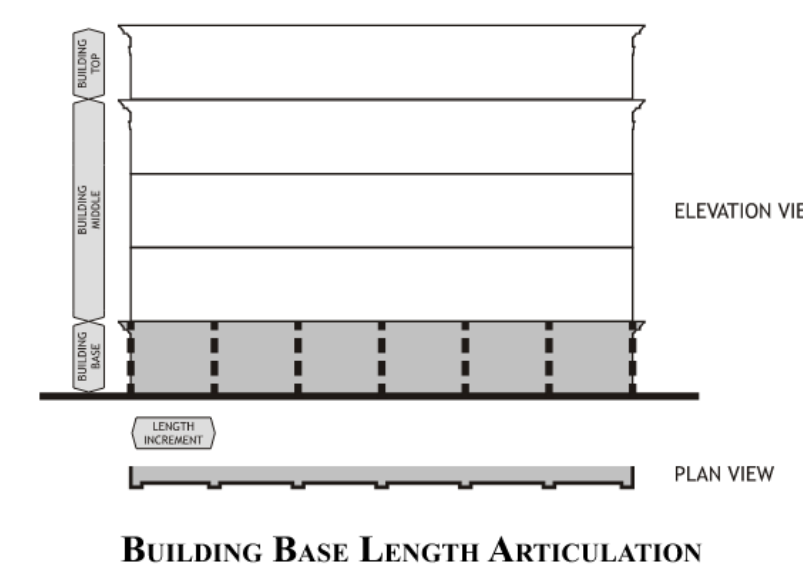
- A substantial horizontal articulation of the Façade shall be applied at the top of the Building Base, which will be known as the Building Base Cap.
- The Building Base Cap should be no less than 2 feet in height.



DETAILING PER DTPP 2.8.3

DTPP 2.8.3.C STANDARDS

- The Building Base Length Articulations should be created using a pilaster. Building Base Pilasters should have the following characteristics:
- The horizontal width of a protruding pilaster or pier should be at least 18 inches wide, but should not exceed 4 feet in width.
 - The depth of the protruding pilaster should be at least 12 inches.

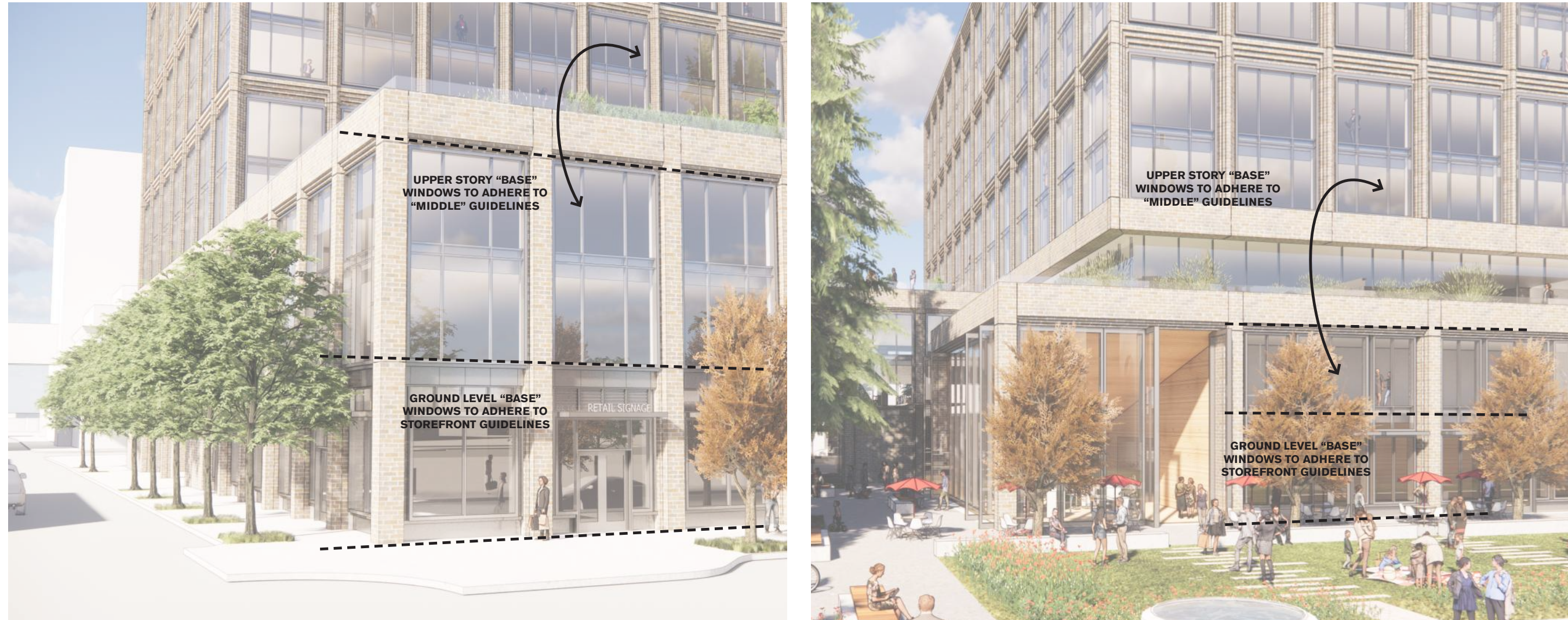


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DETAILING PER DTPP 2.8.3

DTPP 2.8.3.D GUIDELINES For buildings with a two-story high Building Base, guidelines for second-floor windows shall be the same as the windows guidelines for the Building Middle.



DETAILING PER DTPP 2.8.3

DTPP 2.8.3.E GUIDELINES

- These items should be located no lower than 8 feet above the sidewalk, and below the Building Base Cap.
- Awnings and canopies should project no more than 6 feet into the setback or public right-of-way, and should not interfere with street trees, lights, or other vertical infrastructure.
- Colored fabric mounted awnings supported by a metal structural frame or permanent architectural awnings utilizing materials from the building architecture are both acceptable. Internally illuminated fabric awnings should not be used.
- Discrete awnings or canopies should be used for each Building Base Bay, rather than one continuous run-on awning. Awnings should not cover up Building Base Pilasters.



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DETAILING PER DTPP 2.8.4

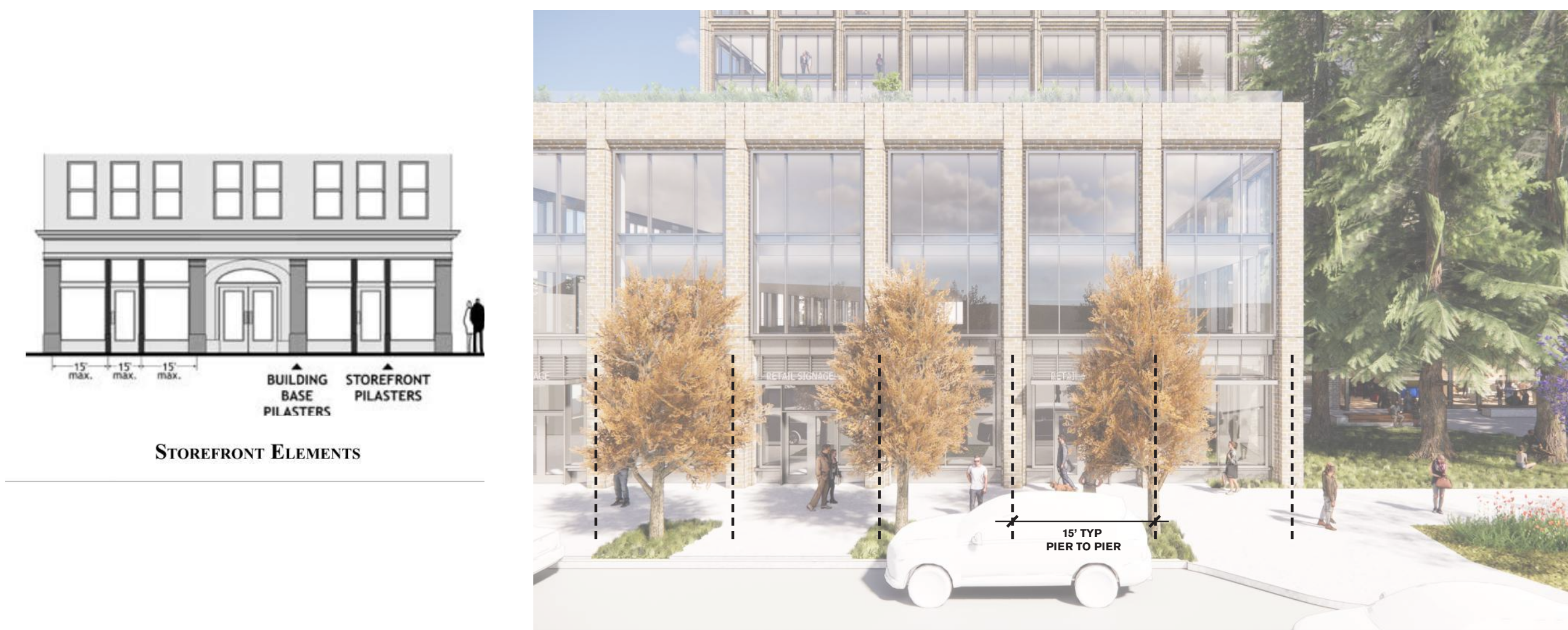
DTPP 2.8.4.A.2.B GUIDELINES Each Storefront bay should contain the following elements:

- One entrance. Business occupying more than one bay, when permitted per Section 2.2.3, may be permitted to provide only one Storefront bay with a door, while the remaining Storefront bays may exclude doors.
- Clerestory and/or transom windows. Where height permits, they should be used above doors and display windows to provide a continuous horizontal band or row of windows across the upper portion of a Storefront.



DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.D GUIDELINES Storefront pilasters and Building Base Pilasters should have a maximum spacing of 15 feet within Storefront frontage areas.



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DTPP COMPLIANCE SECTION 2.8

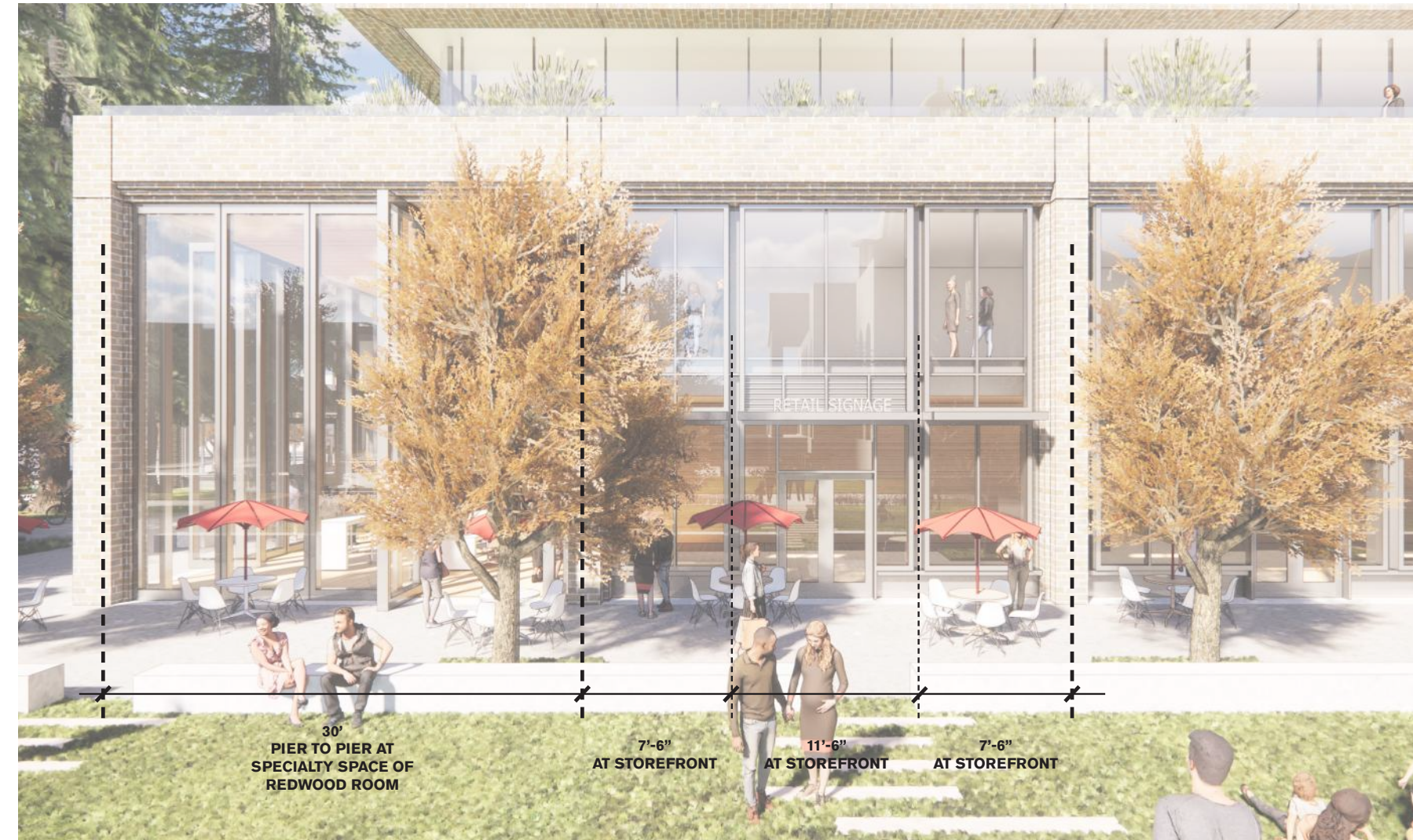
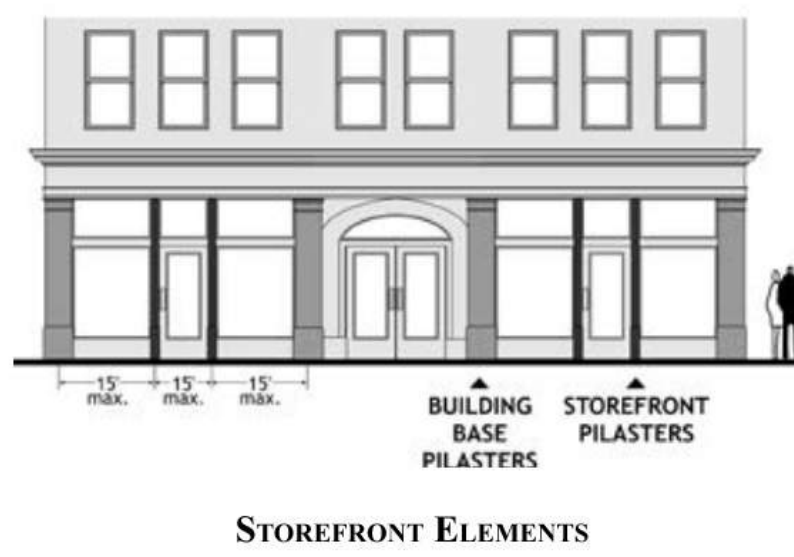
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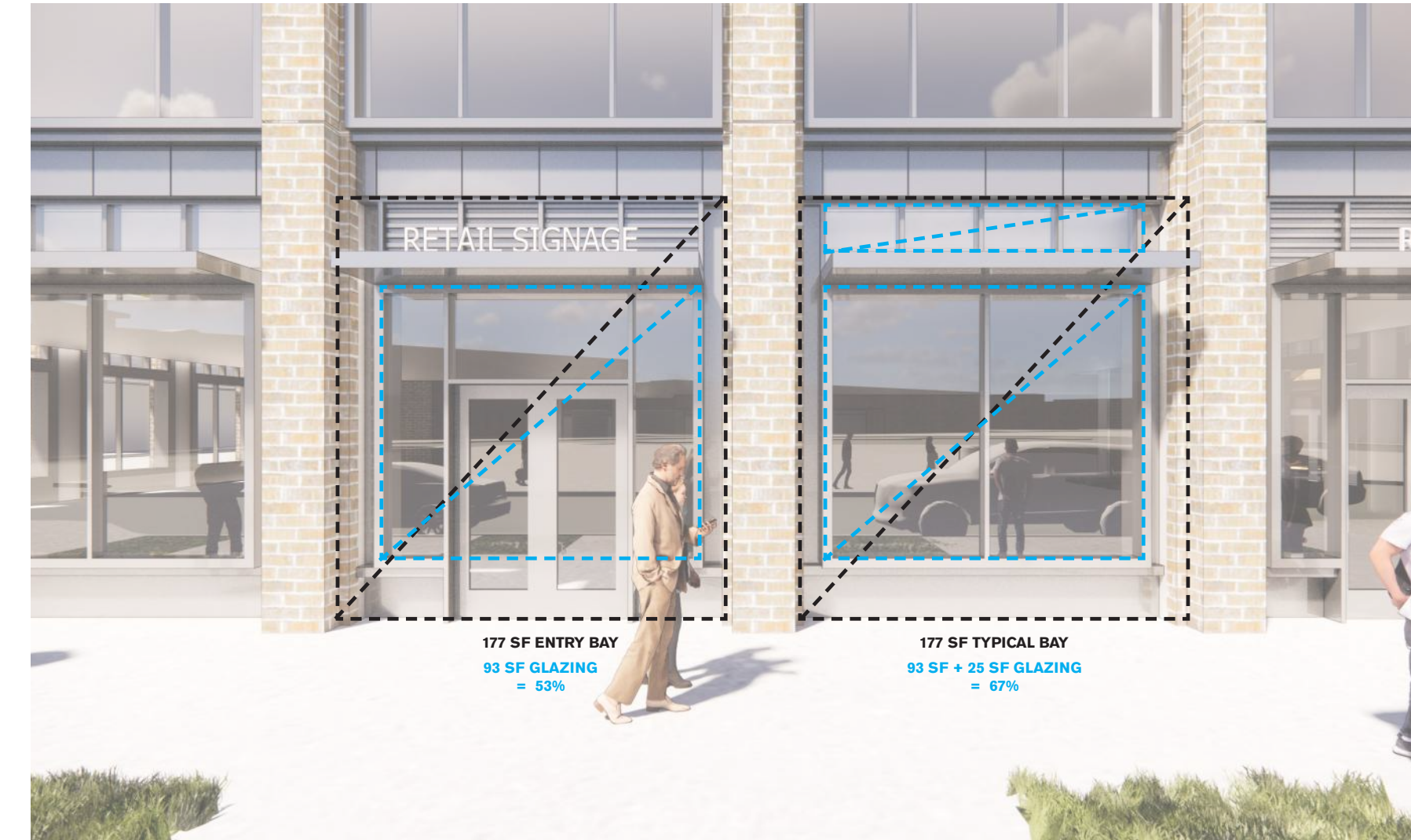
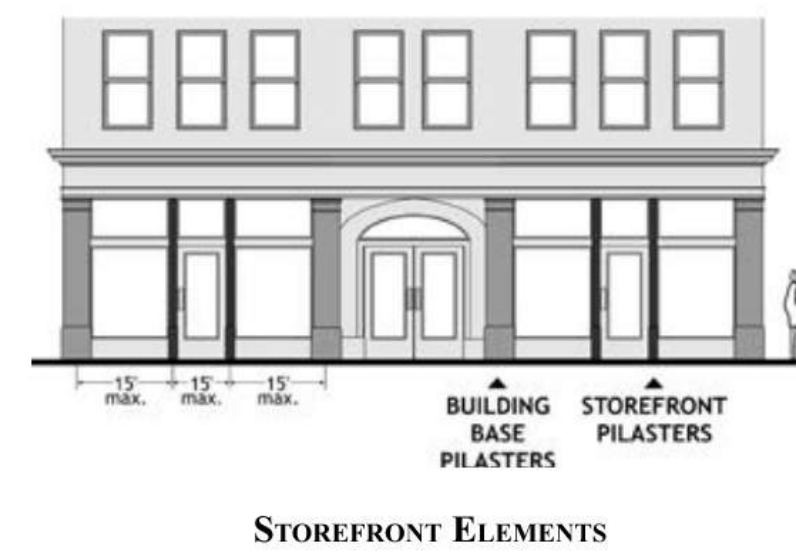
DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.D GUIDELINES Storefront pilasters and Building Base Pilasters should have a maximum spacing of 15 feet within Storefront frontage areas.



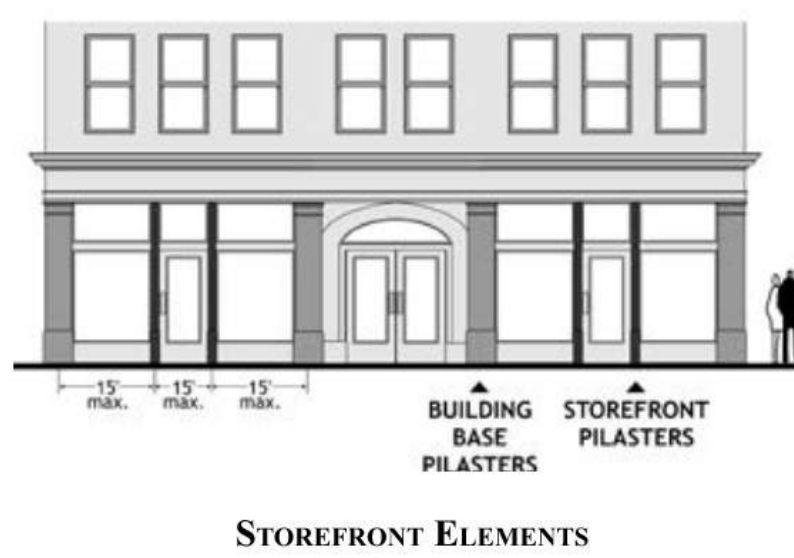
DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.F GUIDELINES Windows within Storefront frontage should conform to the following guidelines.
 - Glazing ratio: Overall wall composition within should contain at least 50%, but no more than 80% glazing



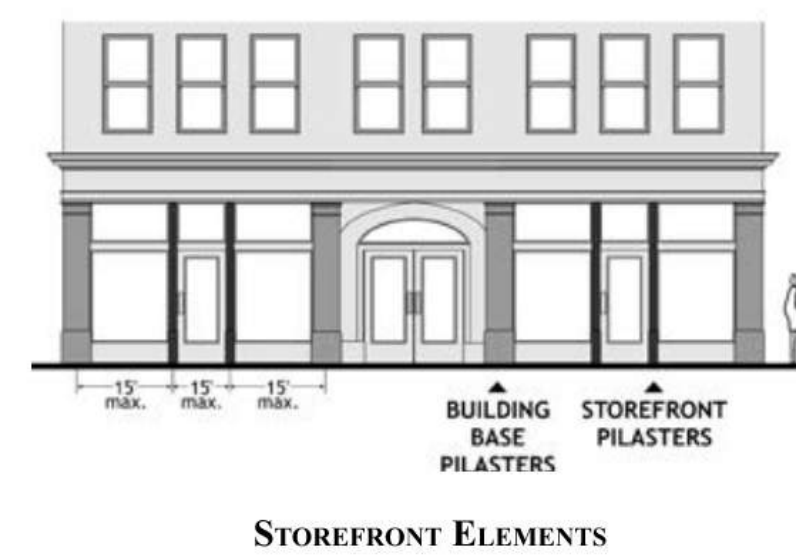
DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.F GUIDELINES CONT. Windows within Storefront frontage should conform to the following guidelines.
 - Proportion: A vertical proportion of window panes or window openings (3:2 to 2:1 height: width ratio) should be used. Openings may be composed of a series of vertically proportioned panes or frames.



DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.F GUIDELINES CONT. Windows within Storefront frontage should conform to the following guidelines.
 - Depth of glazing: Window frames shall not be flush with walls. Glass should be inset a minimum of three (3) inches from the surface of the exterior wall and/or frame surface to add relief to the wall surface.



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SHEET TITLE:

DTPP COMPLIANCE SECTION 2.8

SHEET NO.:

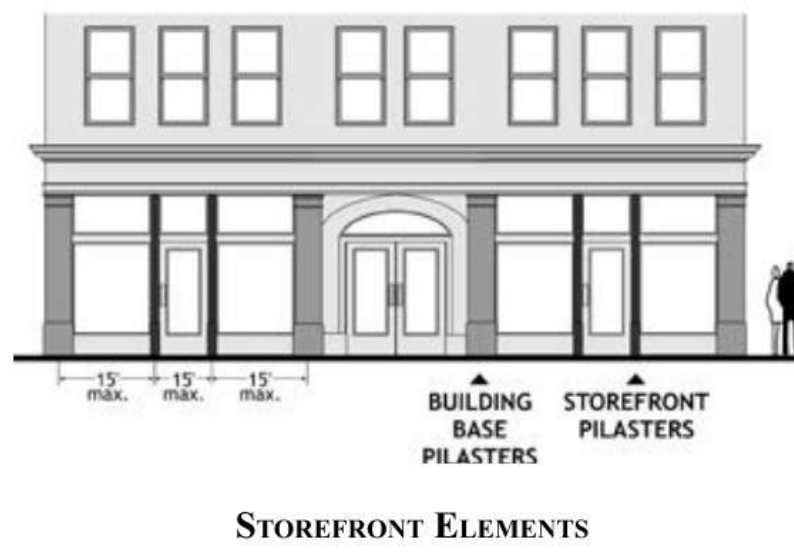
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DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.G GUIDELINES

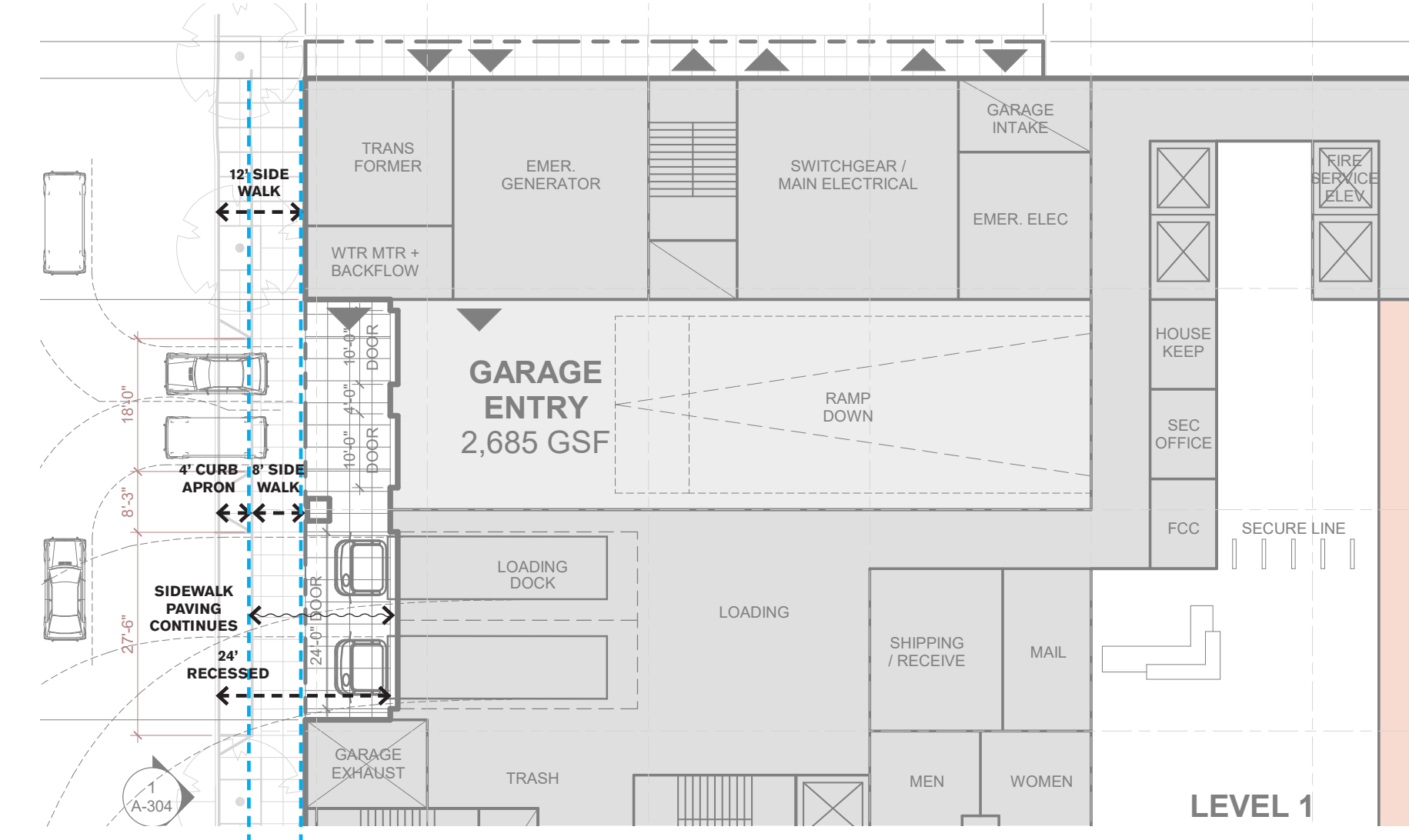
- Doors within Storefront frontage should conform to the following guidelines.
- Doors at Storefronts should include windows of substantial size that permit views into the establishment.
- Doors at Storefronts should match the materials, design and character of the display window framing.



DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.J GUIDELINES

- A Service Entrance is an entrance which is used exclusively for the loading and unloading of wares, or as a fire exit, but which is not used for public access.
- Setback areas must be paved or landscaped in accordance with the Private Frontage type used for the main entrance of the associated use.
- Loading and services entrances should not intrude upon the public view or interfere with pedestrian activities.



ISSUES	DATE
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REVISION LIST	DATE
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DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.J GUIDELINES CONT.

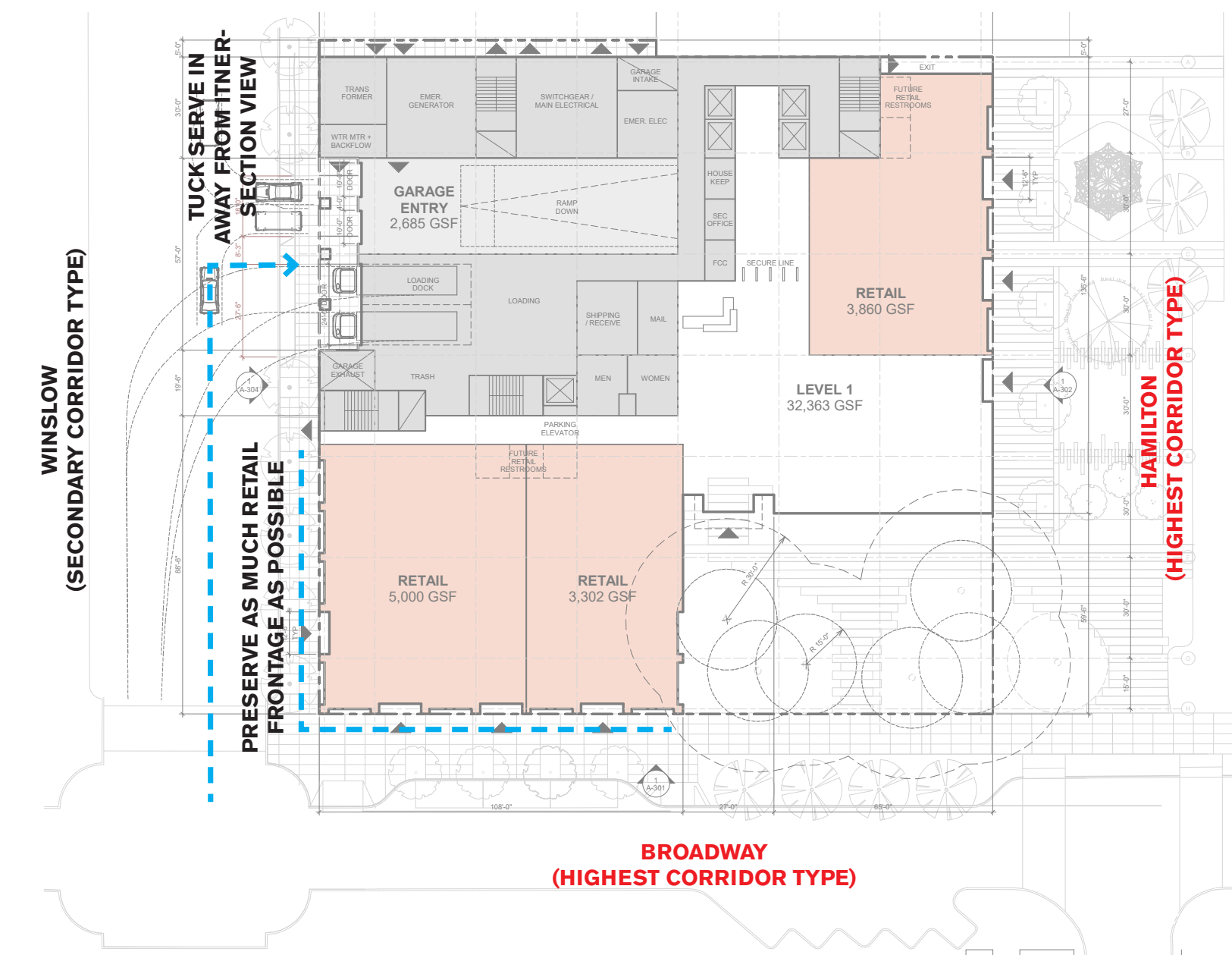
- Service entrance doors should be non-descript, and should not attract attention. Door windows or ornamented or molded surrounds should be avoided.
- Portions of the building Façade containing service or truck doors visible from the public street shall be designed to include attractive and durable materials and be integrated into the architectural composition of the larger building Façade design. Architectural treatments, materials, and colors shall be extended from building Façade areas into the Service Entrance frontage containing truck doors to avoid creating a gap in architectural expression and to maintain a high quality appearance.



DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.K GUIDELINES

- A Garage Entrance provides access for vehicles into a parking garage.
- For parcels occupying more than one Corridor Type, Secondary Entrances shall not face the highest order Corridor Type.



2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

DTPP COMPLIANCE SECTION 2.8

SHEET NO:

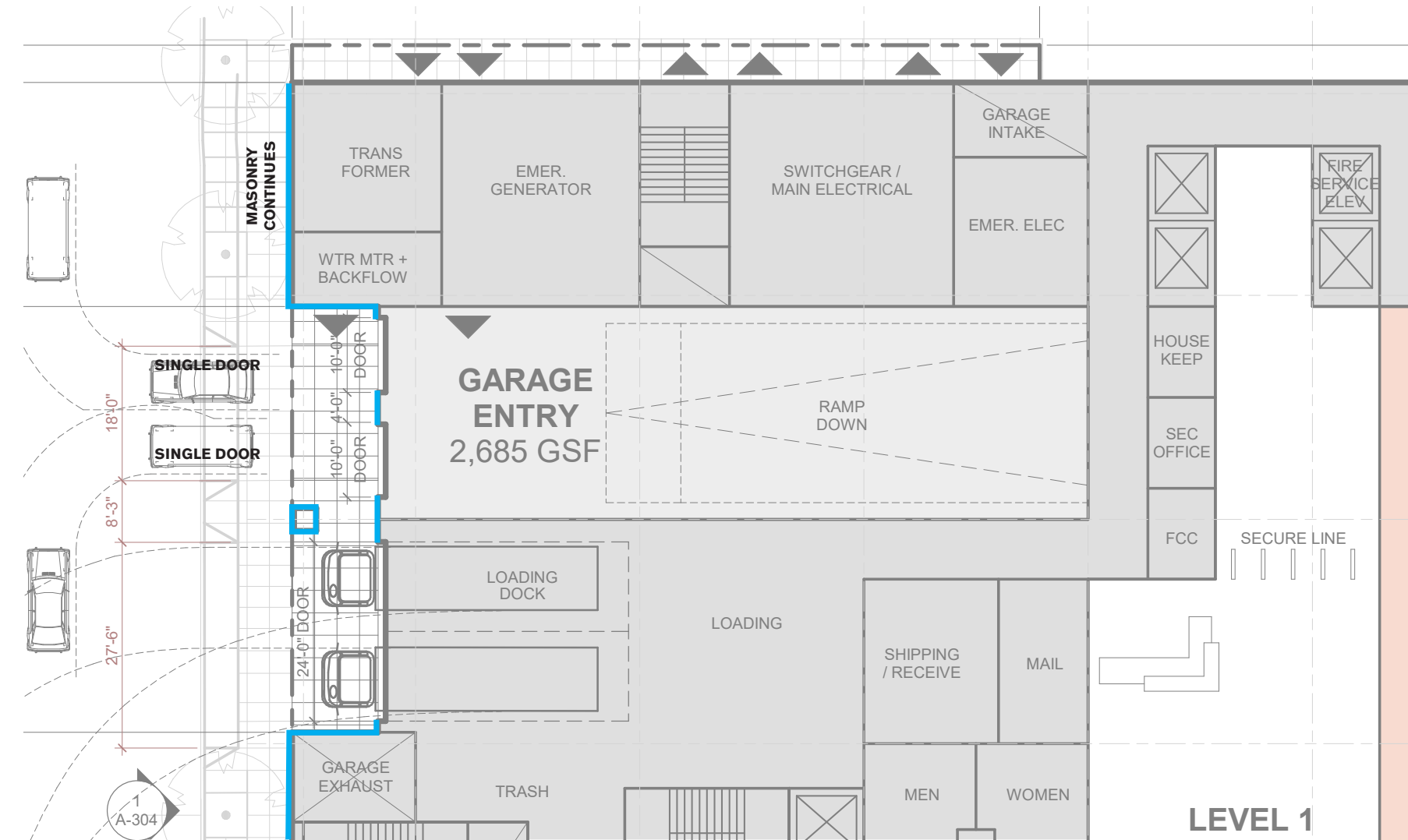
G-017

10/24/2021 10:09:37 AM

DETAILING PER DTPP 2.8.4

DTPP 2.8.4.A.2.K GUIDELINES CONT.

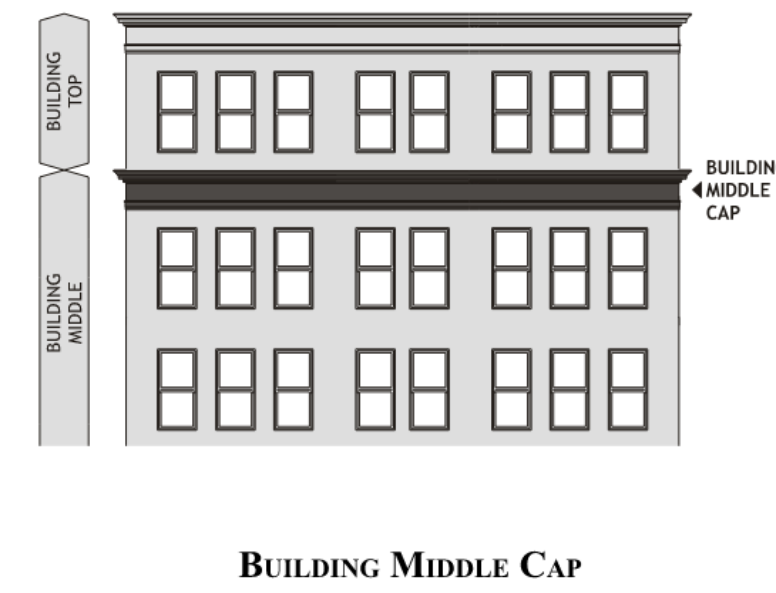
- A Garage Entrance provides access for vehicles into a parking garage.
- For all commercial use Garage Entrance doors, single-car garage doors are strongly recommended to avoid projecting an automobile-dominated appearance to the street or alley.



DETAILING PER DTPP 2.8.5

DTPP 2.8.5.A STANDARDS

- Building Middle Caps provide a visual termination to the Building Middle, providing a strong accentuation to the Building Top.
- A substantial horizontal articulation of the Façade shall be applied at the top of the Building Middle, which will be known as the Building Middle Cap.
- The Building Middle Cap should be no less than 3 feet in height.



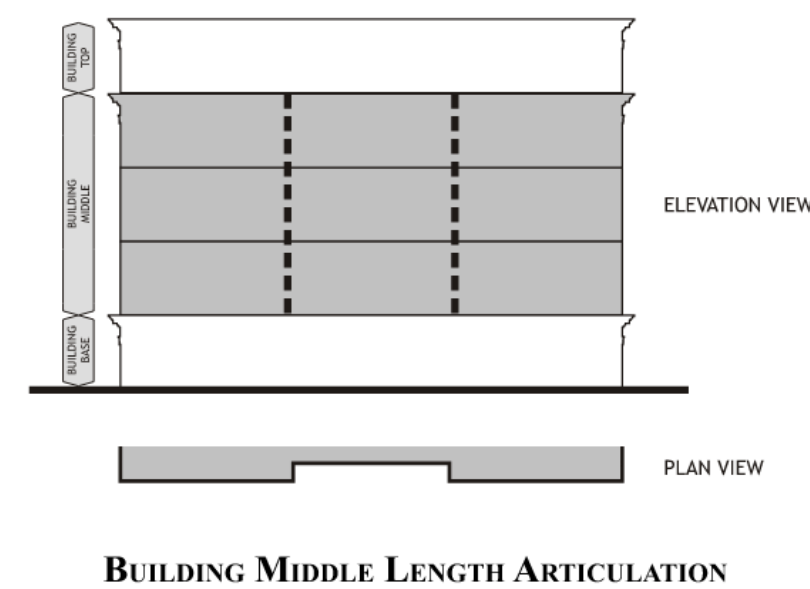
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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DETAILING PER DTPP 2.8.5

DTPP 2.8.5.B STANDARDS

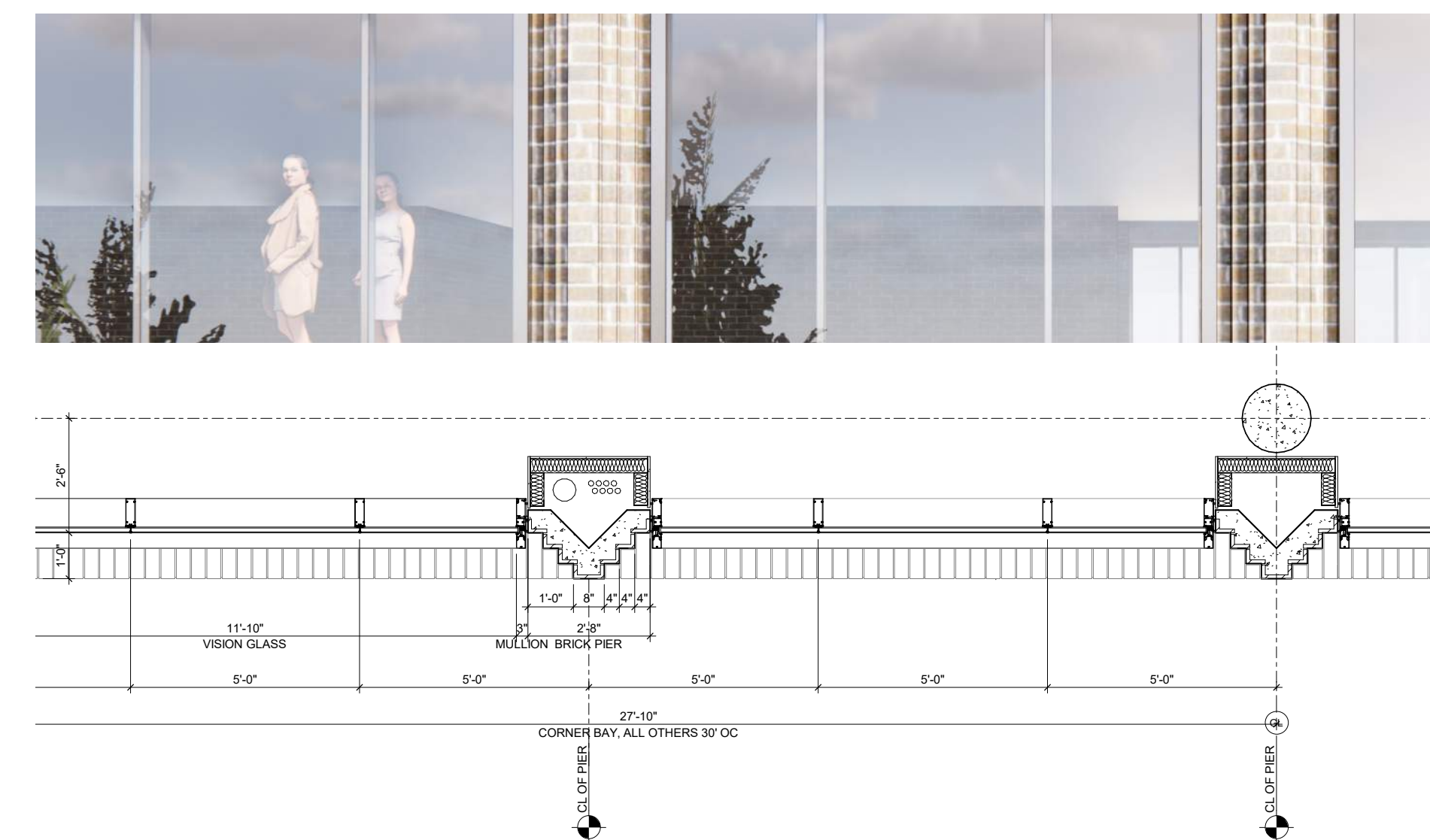
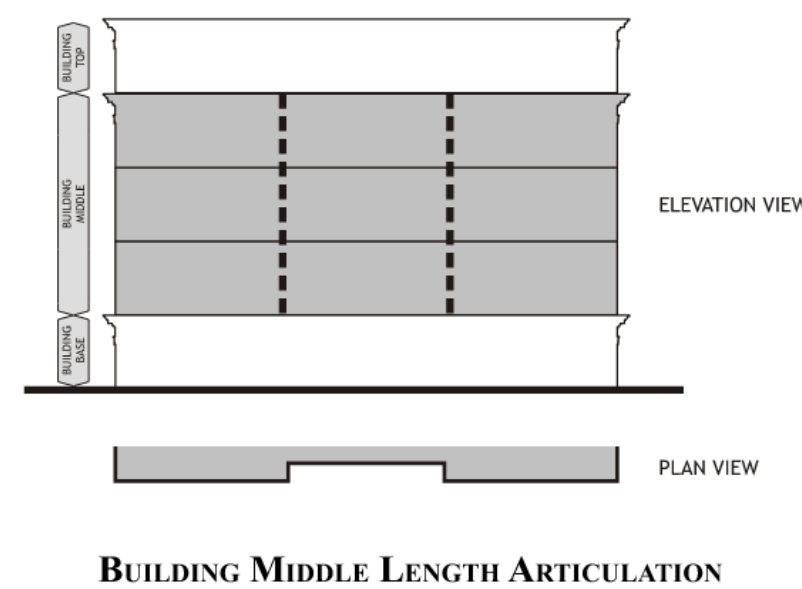
- The maximum Façade Length Articulation Increment shall be as shown in the Façade Composition Regulations Chart according to Corridor Type.
- Measurement of the horizontal increment shall be from corner to corner for façade offsets, or from centerline to centerline for other articulations.
- Façade Length Articulations must be aligned vertically with Building Base Length Articulations.



DETAILING PER DTPP 2.8.5

DTPP 2.8.5.B GUIDELINES

- The Building Middle Length Articulations should be created using façade offsets, which are slight recesses in the wall plane (see Building Middle Length Articulation Graphic).
- The depth of a façade off set shall be a minimum of one foot, and should not be more than 5 feet. The offset should be vertically straight and should run the full height of the Building Middle.



2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

DTPP COMPLIANCE SECTION 2.8

SHEET NO:

G-018

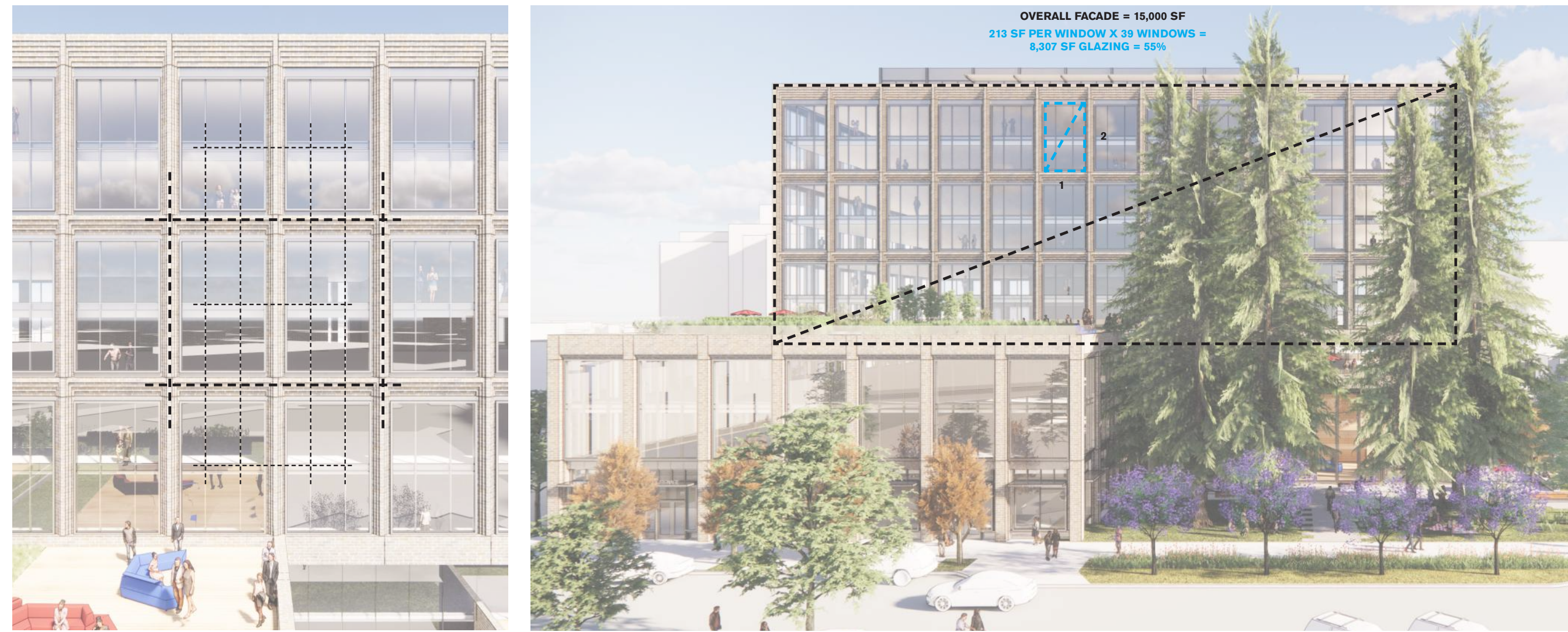
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DETAILING PER DTPP 2.8.5

DTPP 2.8.5.E GUIDELINES

Windows are important to visually organizing a façade and to promoting interaction between the public realm and the private realm.

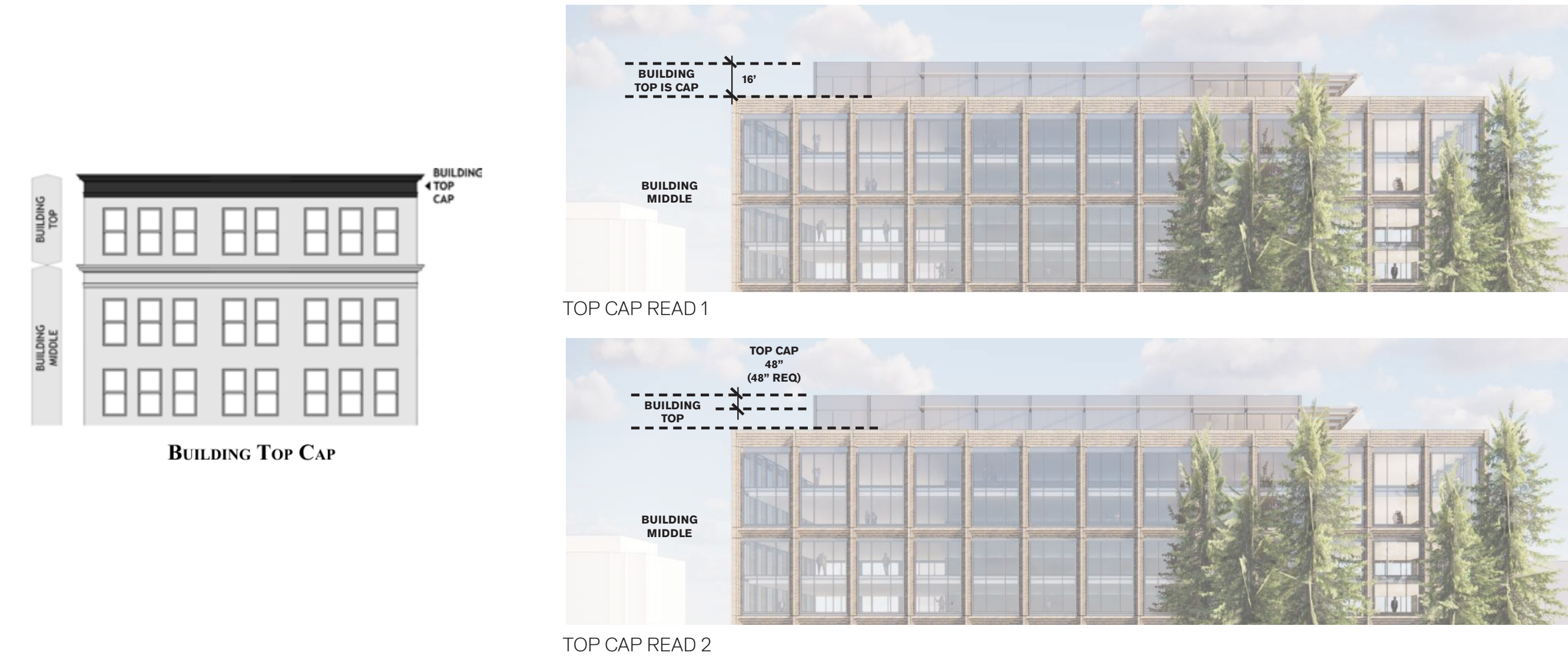
- Overall wall composition within for Building Middles should contain at least 30%, but no more than 60% glazing.
- A vertical proportion of window panes or window openings (3:2 to 2:1 height: width ratio) should be used.
- Windows should generally maintain consistency in size, shape, and location across a façade. Unifying patterns should include a common window lintel line and sill line, as well as aligned vertical centerlines of windows and doors, creating a harmonious pattern across the street wall.



DETAILING PER DTPP 2.8.6

DTPP 2.8.6.A STANDARDS

- A substantial horizontal articulation of the Façade shall be applied at the top of the Building Top, which will be known as the Building Top Cap.
- The Building Top Cap should be no less than 4 feet in height



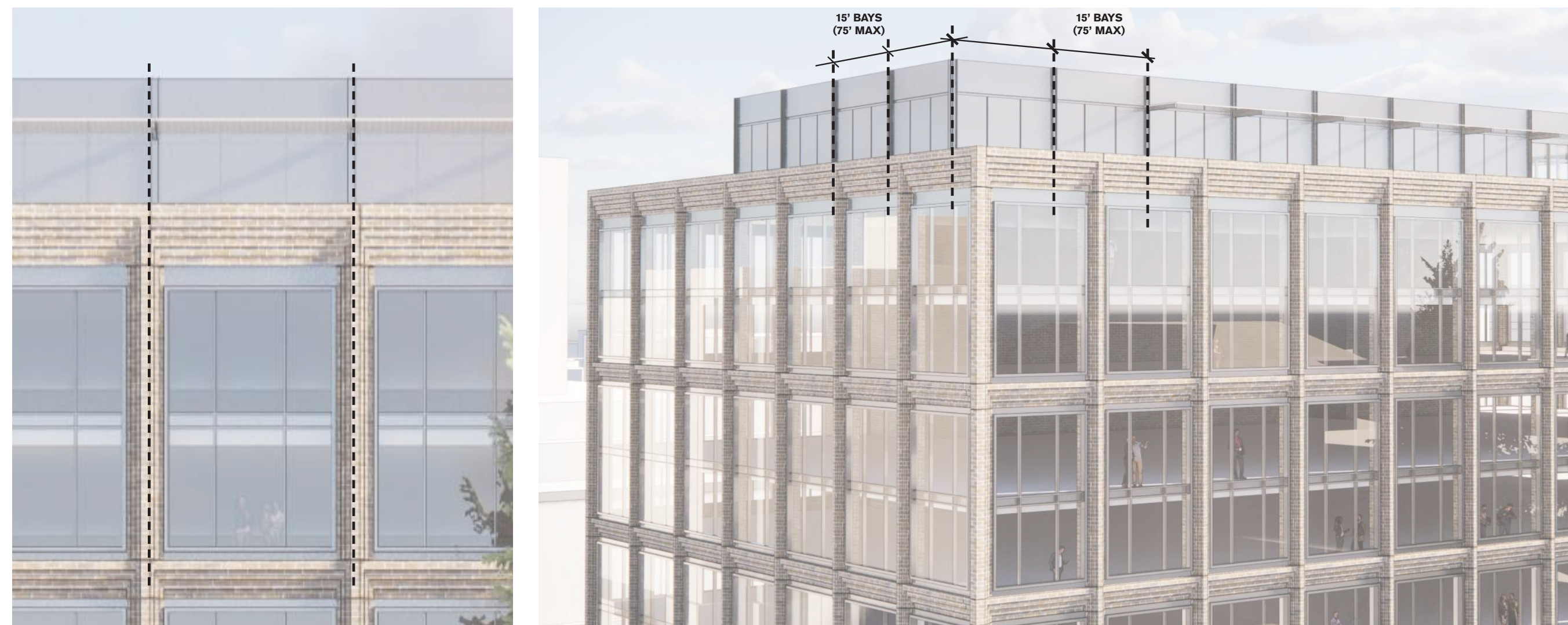
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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DETAILING PER DTPP 2.8.6

DTPP 2.8.6.B STANDARDS

- The maximum Façade Length Articulation Increment shall be as shown in the Façade Composition Regulation Chart according to Corridor Type.
- Measurement of the horizontal increment shall be from corner to corner for façade offsets, or from centerline to centerline for other articulations.
- Façade Length Articulations must be aligned vertically with Building Middle Length Articulations.



DETAILING PER DTPP 2.8.6

DTPP 2.8.6.B GUIDELINES

- The Building Top Length Articulations should be created using façade offsets, which are slight recesses in the wall plane (see the Building Top Length Articulation Graphic).
- The depth of a façade off set shall be a minimum of one foot, and should not be more than 5 feet. The offset should be vertically straight and should run the full height of the Building Top.



2300 BROADWAY
Redwood City, CA

KEYPLAN

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SCALE:

SHEET TITLE:

DTPP COMPLIANCE SECTION 2.8

SHEET NO:

G-019

10/24/2021 10:09:37 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE

DTPP 2.9.3.E - GUIDELINE 2.A Roofs should be flat, with an ornamented parapet

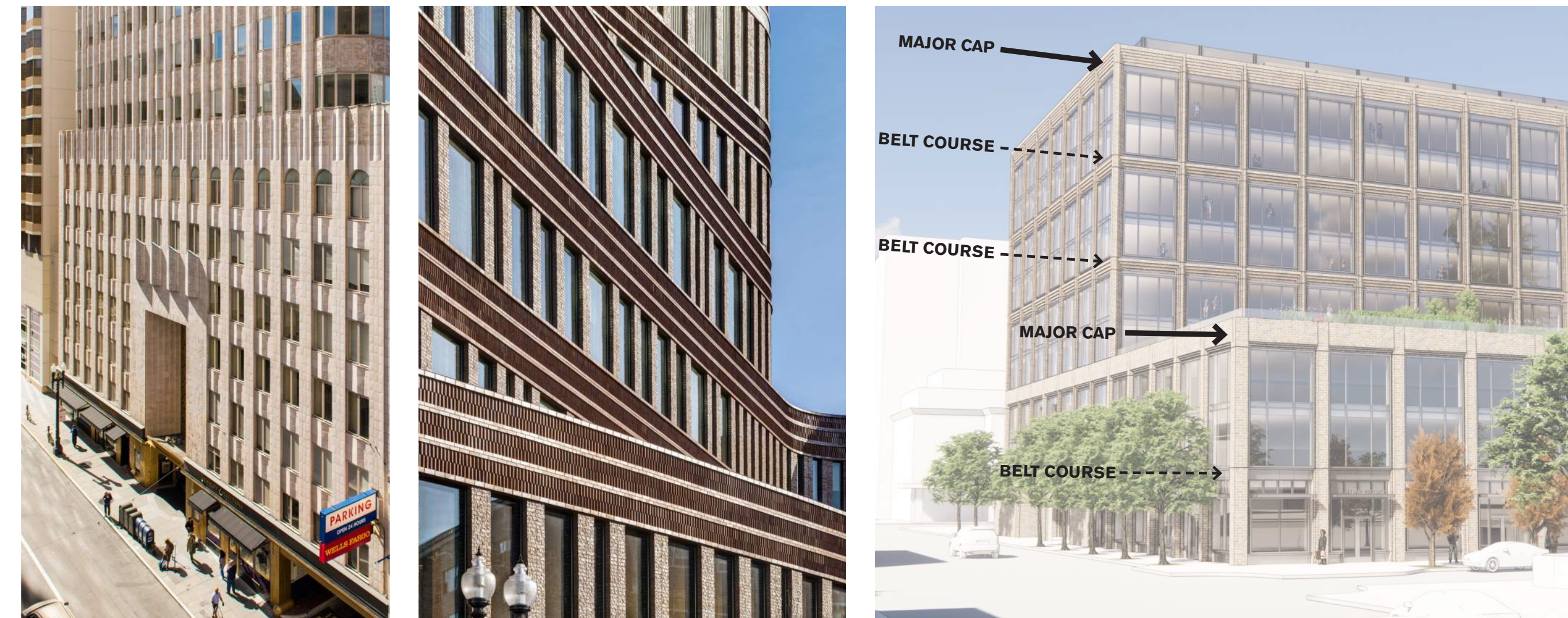


HISTORICAL PRECEDENT
REDWOOD CITY

MODERN PRECEDENT
GROSS BLEICHEN 19
HAMBURG, GERMANY

PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.B Building Base and Building Middle Caps shall be simple horizontal belt courses or an ornamented frieze. Building Top Cap should be an ornamented frieze or shaped parapet.



HISTORICAL PRECEDENT
450 SUTTER
SAN FRANCISCO

MODERN PRECEDENT
BRUCE C. BOLLING MUNICIPAL BUILDING
BOSTON

PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.C Wall cladding should be brick, stone, stucco, terra cotta, or ceramic tile. Only one primary cladding material should be used within each Façade Height Articulation Element, but materials may vary from element to element.



HISTORICAL BRICK PRECEDENT
ROOSEVELT JUNIOR HIGH
SAN FRANCISCO

HISTORICAL BRICK PRECEDENT
SEQUOIA HOTEL

MODERN BRICK PRECEDENT
UNKNOWN - MENDELSON

PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.D Trim materials should be stucco, ceramic tile, terra cotta, or polished metal. Multiple trim materials may be used.



HISTORICAL PRECEDENT
CHRYSLER BUILDING
NEW YORK

MODERN PRECEDENT
180 E 88TH
NEW YORK

PROJECT RESPONSE

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

**DTPP COMPLIANCE
SECTION 2.9**

SHEET NO:

G-020

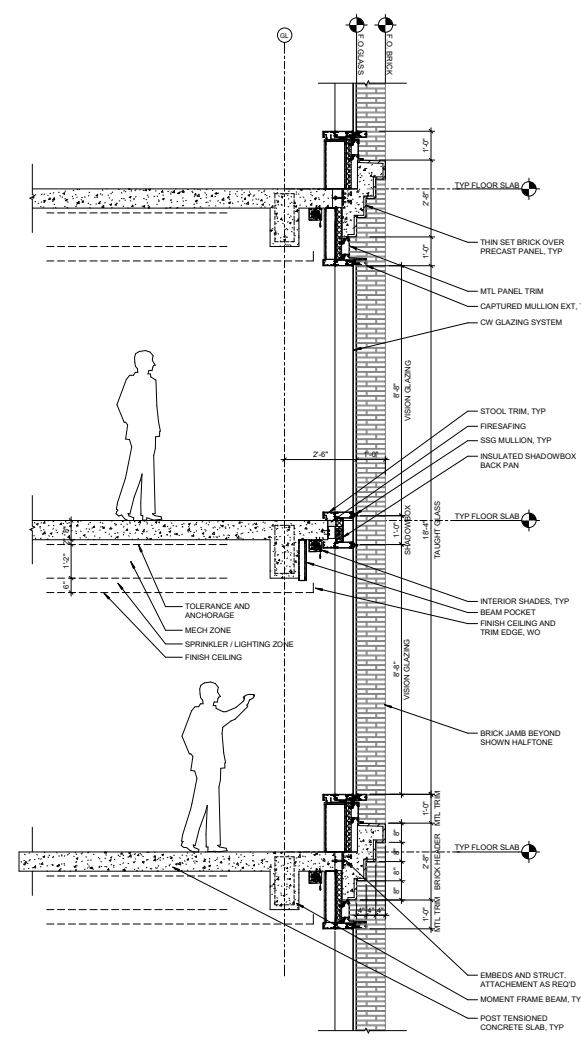
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DTPP 2.9.3.E - GUIDELINE 2.E

Ornamental spandrel panels should be applied above and below windows and as Building Top Caps, creating the appearance of vertical bands.



HISTORICAL PRECEDENT
ROOSEVELT JUNIOR HIGH
SAN FRANCISCO



CONCEPT SECTION DETAIL



PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.E CONTINUED

Ornamental spandrel panels should be applied above and below windows and as Building Top Caps, creating the appearance of vertical bands.



HISTORICAL PRECEDENT
REDWOOD CITY



PROJECT RESPONSE



ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

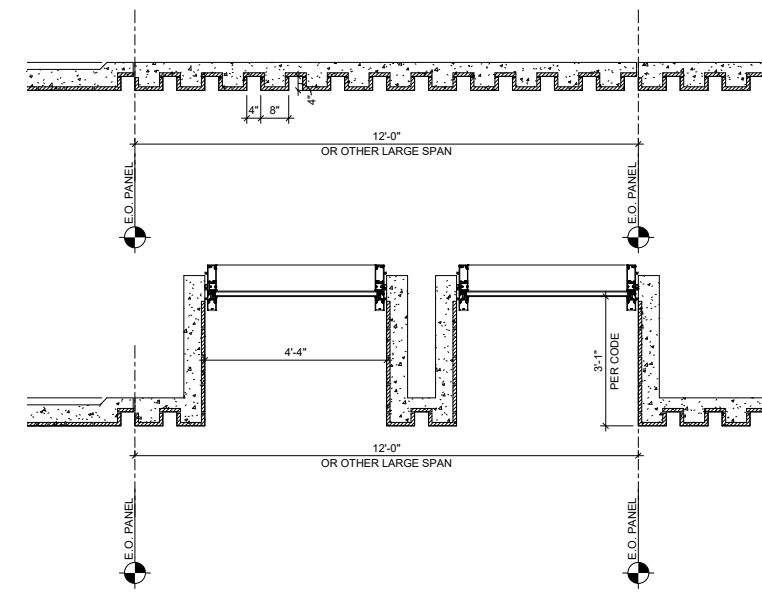
REVISION LIST	DATE
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DTPP 2.9.3.E - GUIDELINE 2.E CONTINUED

Bas relief ornamental motifs of Art Deco—such as fan-like shapes, zigzag elements, sunbursts, chevrons, stepped arches, and stylized foliage—should be used.



HISTORICAL PRECEDENT
501 MADISON AVE
NEW YORK



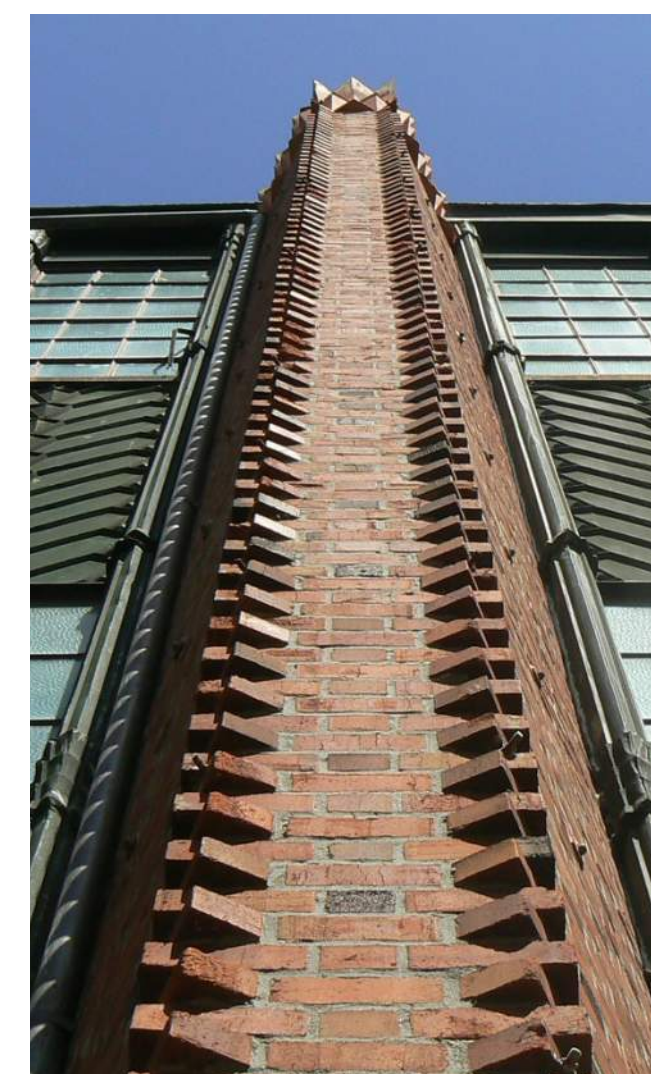
CONCEPT PLAN DETAIL



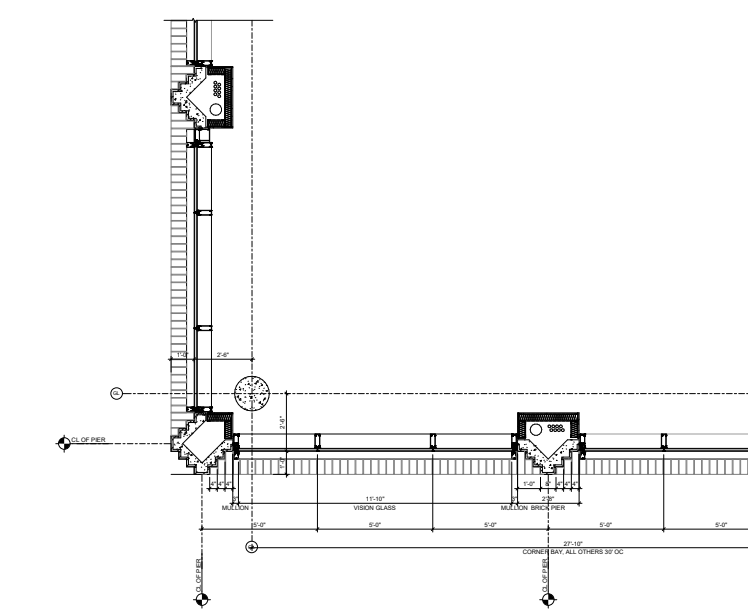
PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.F

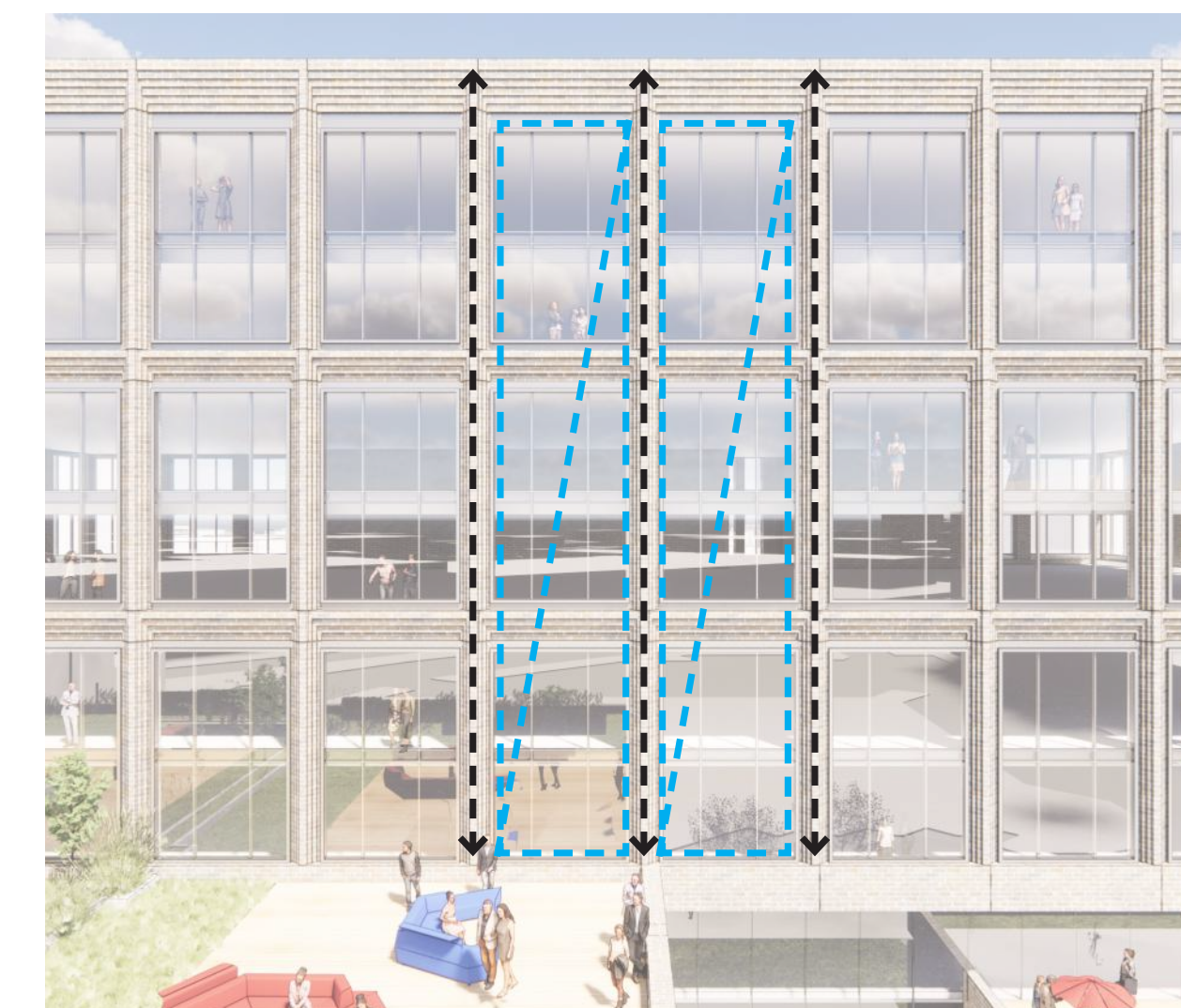
Verticality should be emphasized with angled or stepped pilasters running vertically through the entirety of Height Articulation Components, or the entire façade located between each vertical row of windows, or every other vertical row of windows.



HISTORICAL PRECEDENT
ROOSEVELT JUNIOR HIGH
SAN FRANCISCO



CONCEPT DETAILING



PROJECT RESPONSE
IPSUM LOREM IF WE WANT

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

**DTPP COMPLIANCE
SECTION 2.9**

SHEET NO:

G-021

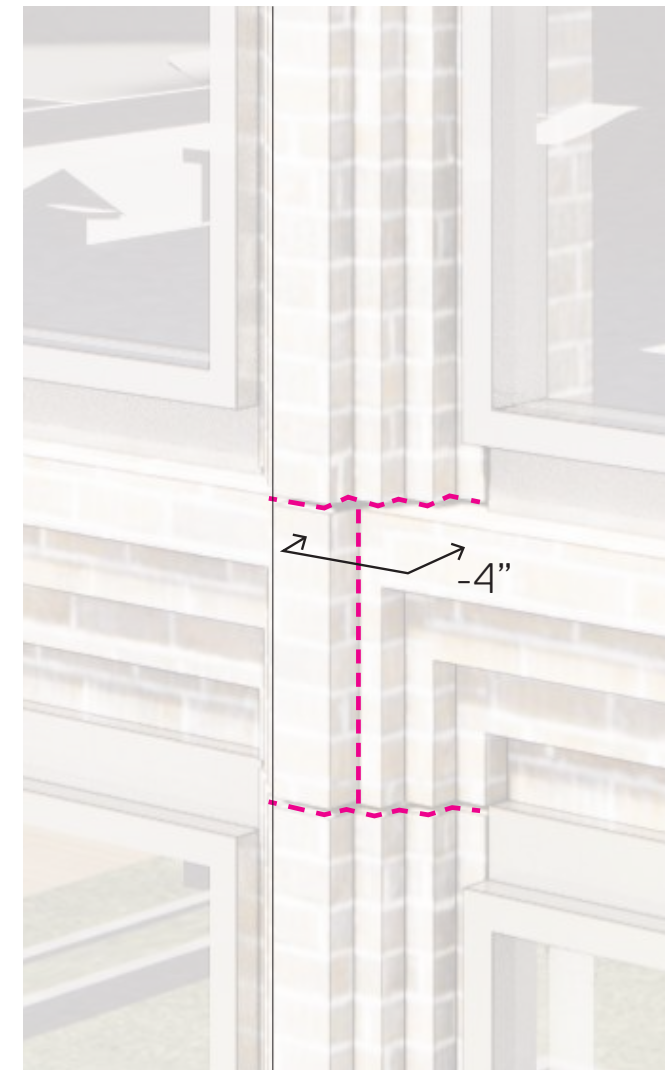
10/24/2021 10:09:37 AM

DTPP 2.9.3.E - GUIDELINE 2.F CONTINUED

Terminate directly below the Building Top Cap, creating the impression of a supporting column. In this case, the face of the pilasters should be flush with the face of the Building Top Cap in plan, and should be capped with a base relief capital featuring and two-dimensional ionic capital or other Art Deco motif.



HISTORICAL PRECEDENT
REDWOOD CITY



CONCEPT DETAIL



PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.G (REPEAT OF 2.B)

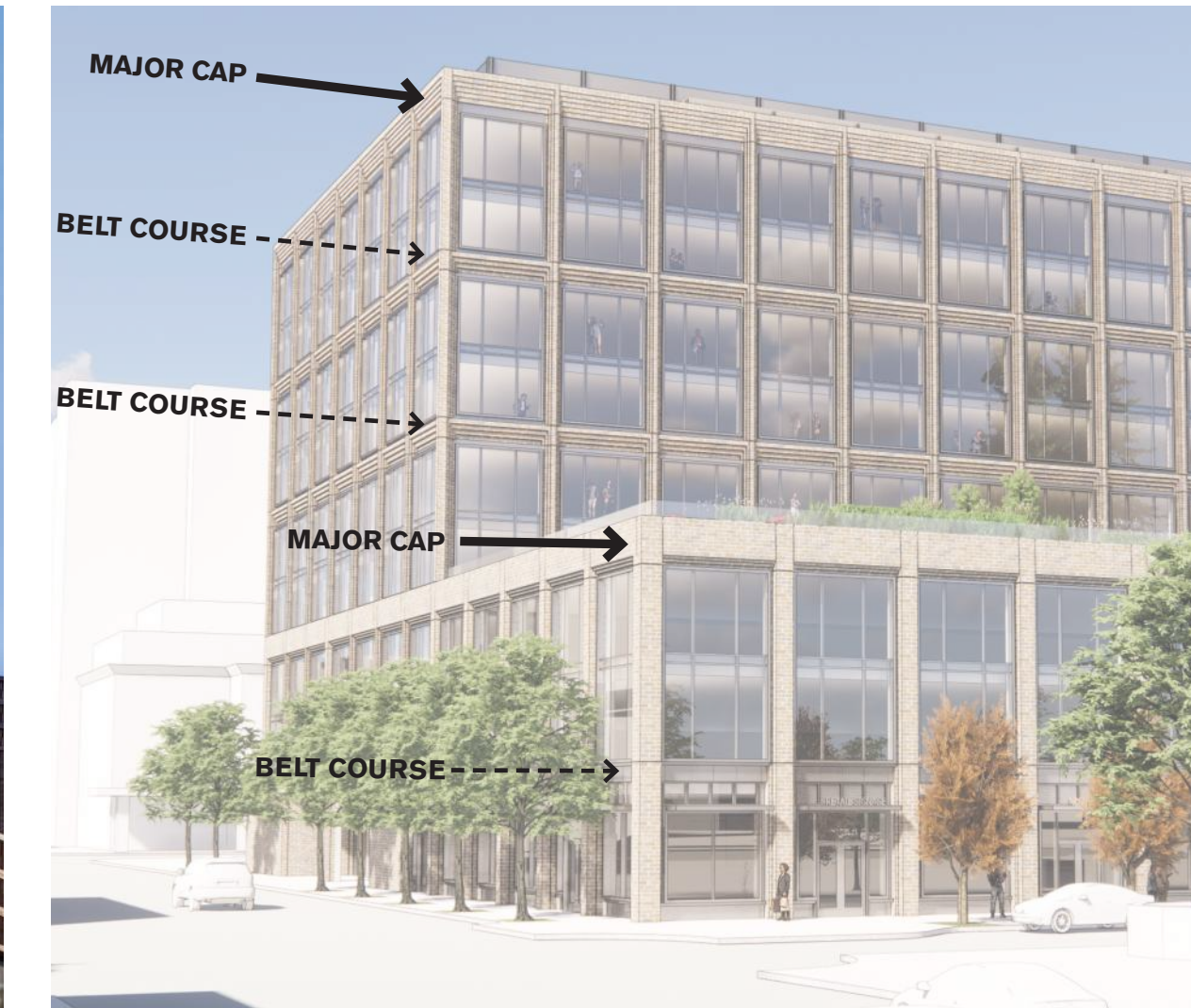
Building Base and Building Middle Caps shall be simple horizontal belt courses or a stepped cornice. Building Top Caps should be ornamented friezes featuring ornamental spandrel panels.



HISTORICAL PRECEDENT
450 SUTTER
SAN FRANCISCO



MODERN PRECEDENT
BRUCE C. BOLLING MUNICIPAL BUILDING
BOSTON



PROJECT RESPONSE

ISSUES	DATE
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DTPP 2.9.3.E - GUIDELINE 2.H

Bay windows should be polygonal in plan. The angles of the inside corners of the bay should be 135 degrees. (NOT APPLICABLE)

DTPP 2.9.3.E - GUIDELINE 2.I

Window shapes should be simple and rectangular.



HISTORICAL PRECEDENT
DUMONT BUILDING
NEW YORK



MODERN PRECEDENT
TURNMILL BUILDING
LONDON



PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.J

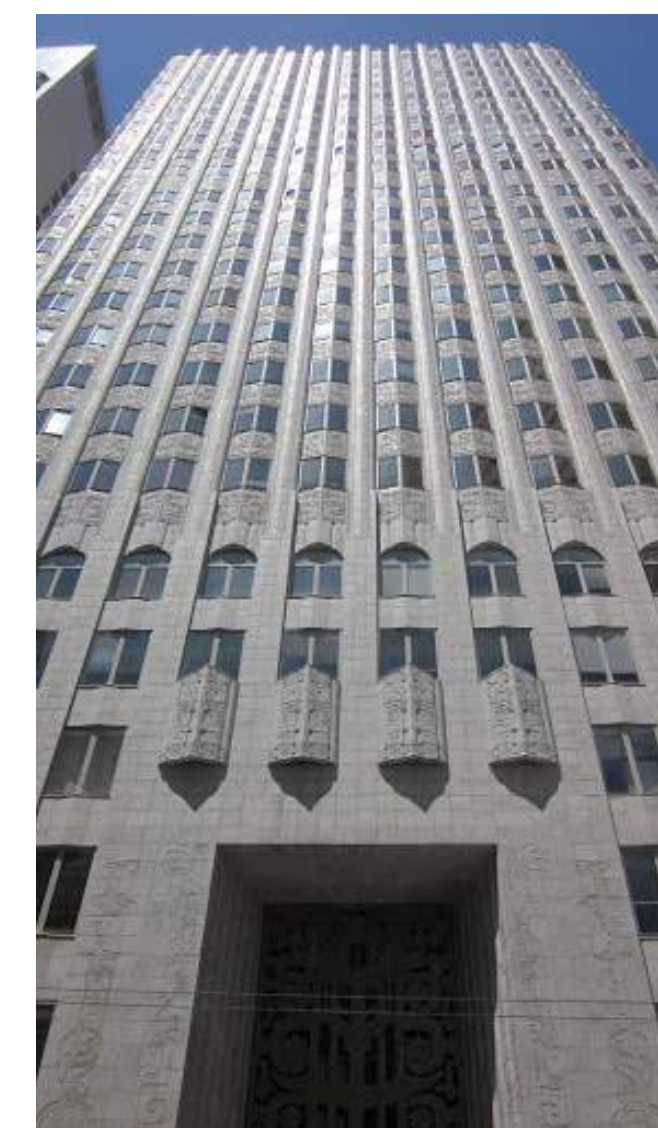
Building Middle and Building Top windows should be clear and should not be tinted, should be inset a minimum of 3 inches from the adjacent wall plane, and should be of the double- or single-hung type.



CHICAGO WINDOW PRECEDENT
RELIANCE BUILDING



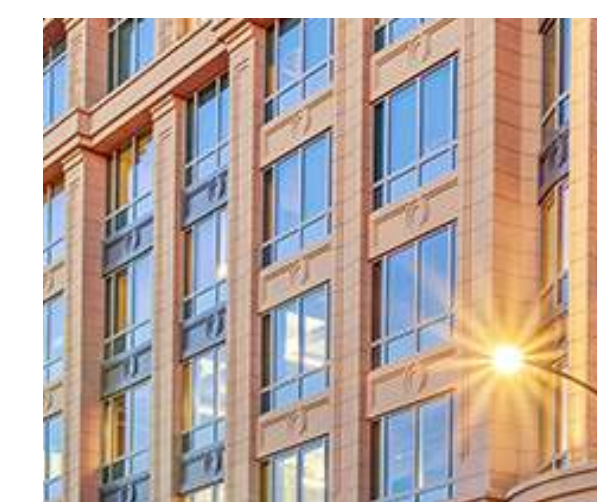
NON DOUBLE HUNG PRECEDENT
REDWOOD CITY



NON DOUBLE HUNG PRECEDENT
450 SUTTER
SAN FRANCISCO



CHICAGO WINDOW PRECEDENT
SULLIVAN CARSON PIRIE SCOTT
BUILDING



NON DOUBLE HUNG PRECEDENT
601 MARSHALL



PROJECT RESPONSE

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

**DTPP COMPLIANCE
SECTION 2.9**

SHEET NO:

G-022

10/24/2021 10:09:38 AM

DTPP 2.9.3.E - GUIDELINE 2.K

Building Middle and Building Top windows should feature a prominent but simple sill and little or no surround and lintel.



HISTORICAL PRECEDENT
REDWOOD CITY



UNACCEPTABLE EXAMPLE
CARLSBERG APARTMENTS
CARLSBERG



PROJECT RESPONSE

DTPP 2.9.3.E - GUIDELINE 2.L

Wall colors should be limited to white, tan, or light pastel colors. Only one primary wall color material should be used within each Façade Height Articulation Element, but colors may vary from element to element.



POTENTIAL BRICK COLOR RANGE - FINAL COLOR AND TEXTURE TO BE DETERMINED IN SUBSEQUENT SUBMISSIONS

ISSUES	DATE
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DETAILING PER DTPP 2.10.3

DTPP 2.10.3.J STANDARDS & GUIDELINES

- Above Awning Signs shall not exceed one and one-half (1 ½) times the valance height, and width shall not exceed two-thirds (2/3) of the awning width.
- Above Awning Signs shall project no farther from the building than its associated awning.
- Lettering for Above Awning Signs shall include one (1) line of lettering only.
- Materials used in Above Awning Signs should be wood, metal, and paint only.



2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

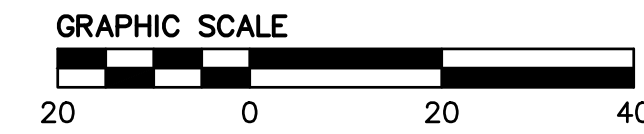
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**DTPP COMPLIANCE
SECTION 2.9 & 2.10**

SHEET NO:

G-023

10/24/2021 10:09:38 AM



NOTES:

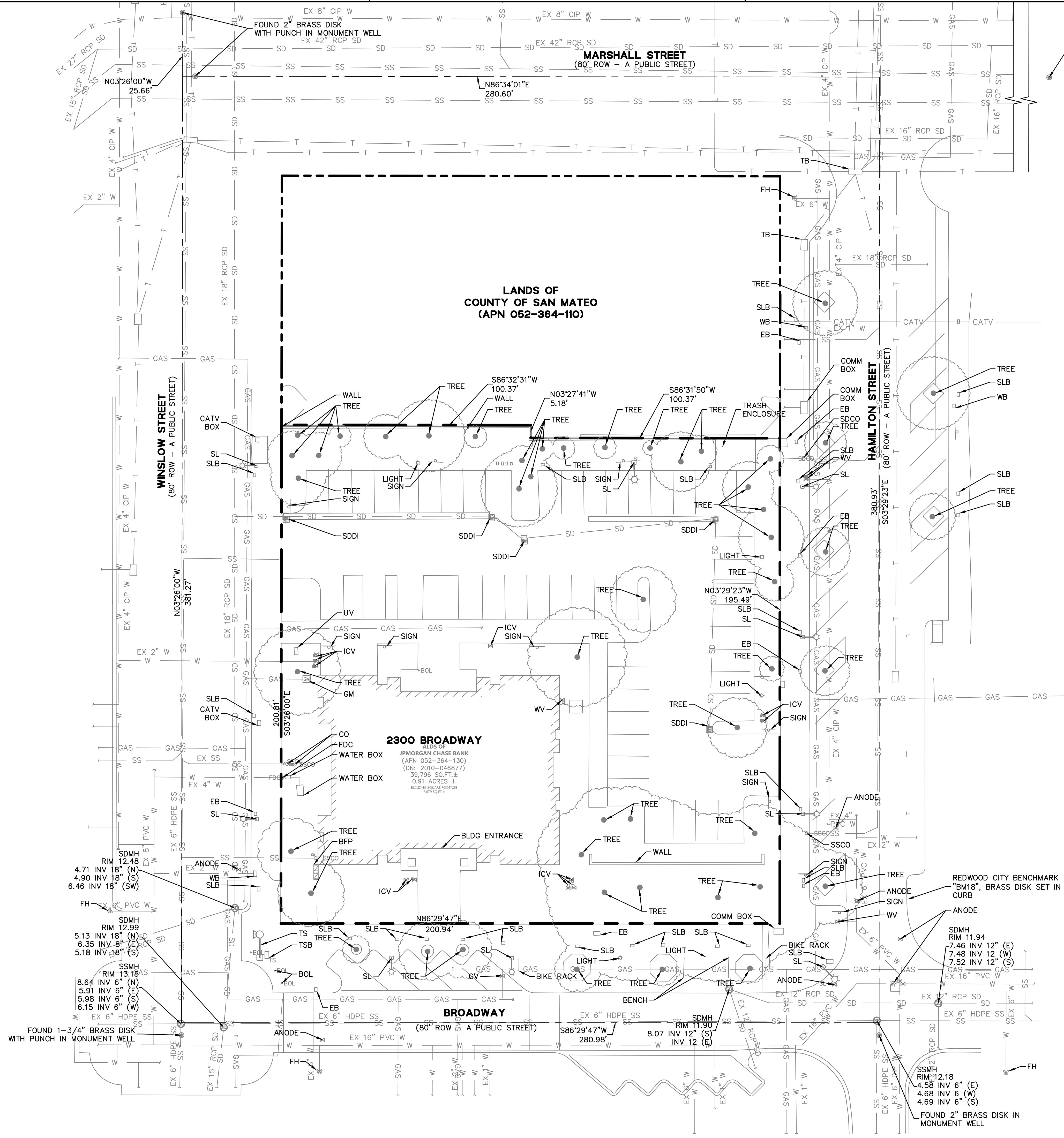
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- EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SITE FIELD SURVEY BY BKF ENGINEERS.
- BASIS OF BEARINGS: THE BEARING OF NORTH 86°34'01" EAST BETWEEN THE TWO FOUND MONUMENTS IN CENTERLINE OF MARSHALL STREET WAS TAKEN AS THE BASIS OF THIS SURVEY.
- PROJECT BENCHMARK: REDWOOD CITY BENCHMARK "BM18", A BRASS DISK SET IN CURB, WAS CHOSEN AS A SITE BENCHMARK FOR THIS SURVEY. ELEVATION = 12.59 FT.
- EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEYS. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.

LEGEND:

	PROPERTY LINE
	LOT LINE
	CENTERLINE
	EXISTING STORM DRAIN LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CABLE TV LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE

ABBREVIATIONS

BFP	BACK FLOW PREVENTOR
BLDG	BUILDING
BOL	BOLLARD
CATV	CABLE TV
CO	CLEAN OUT
COMM	COMMUNICATIONS
EB	ELECTRICAL BOX
ELEC	ELECTRIC
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GV	GAS VALVE
ICV	IRRIGATION CONTROL VALVE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDDI	STORM DRAIN INLET
SDMH	STORM DRAIN MANHOLE
SLB	STREET LIGHT BOX
SL	STREET LIGHT
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
TB	TELECOM BOX
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
UV	UTILITY VAULT
WB	WATER BOX
WV	WATER VALVE



2300 BROADWAY
Redwood City, CA

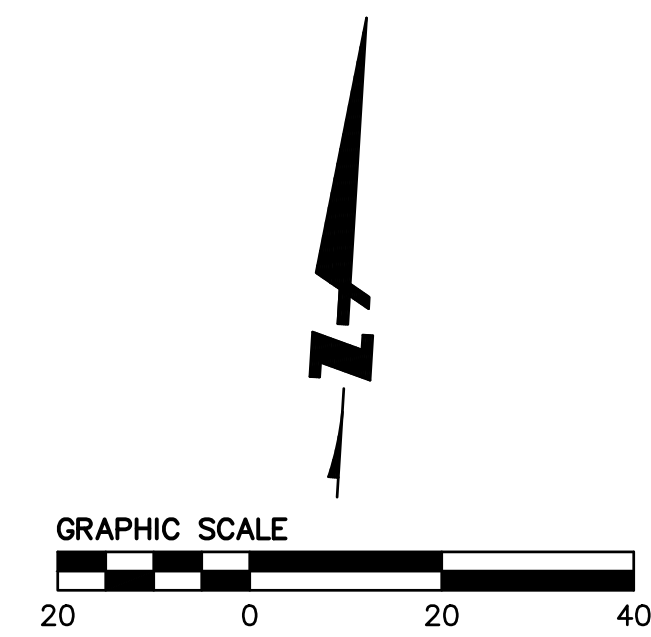
KEYPLAN

PROJECT NO.: 20181660
DATE: 03/05/2021
SCALE: AS SHOWN

SHEET TITLE:

**EXISTING
CONDITIONS
PLAN**

SHEET NO:



MARSHALL STREET

HAMILTON STREET

LANDS OF COUNTY OF SAN METO
(APN 052-364-110)

2300 BROADWAY
(APN 052-364-130)
FF=13.0'

WINSLOW STREET

BROADWAY

NOTES:

- EXISTING BOUNDARY AND EASEMENT INFORMATION IS BASED ON A REVIEW OF AVAILABLE RECORD MAPS AND TITLE REPORTS FOR THE PROJECT AREA.
- EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SITE FIELD SURVEY BY BKF ENGINEERS.
- BASIS OF BEARINGS: THE BEARING OF NORTH 86°34'01" EAST BETWEEN THE TWO FOUND MONUMENTS IN CENTERLINE OF MARSHALL STREET WAS TAKEN AS THE BASIS OF THIS SURVEY.
- PROJECT BENCHMARK: REDWOOD CITY BENCHMARK "BM18", A BRASS DISK SET IN CURB, WAS CHOSEN AS A SITE BENCHMARK FOR THIS SURVEY. ELEVATION = 12.59 FT.
- EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEYS. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION WITH CONSTRUCTION ACTIVITIES.
- DIMENSIONS SHOWN REFERS TO THE FACE OF CURB OR EDGE OF PATHWAY, UNLESS OTHERWISE NOTED.

LEGEND:

- FG 10.00 PROPOSED GRADE
- 1.0% PROPOSED SLOPE
- EG 10.00± EXISTING GRADE
- (1.0%) EXISTING SLOPE

ABBREVIATIONS:

- BLDG BUILDING
- BW BACK OF WALK
- DWY DRIVEWAY
- EG EXISTING GRADE
- FG FINISH GRADE
- FF FINISH FLOOR
- FL FLOW LINE
- LG LIP OF GUTTER
- S/W SIDEWALK
- TC TOP OF CURB
- TYP TYPICAL

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 20181660

DATE: 03/05/2021

SCALE: AS SHOWN

SHEET TITLE:

**GRADING
AND
DRAINAGE
PLAN**

SHEET NO.:



**COURTHOUSE
MUSEUM**

**COURTHOUSE
SQUARE**

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 03/05/2021

SCALE:

SHEET TITLE:

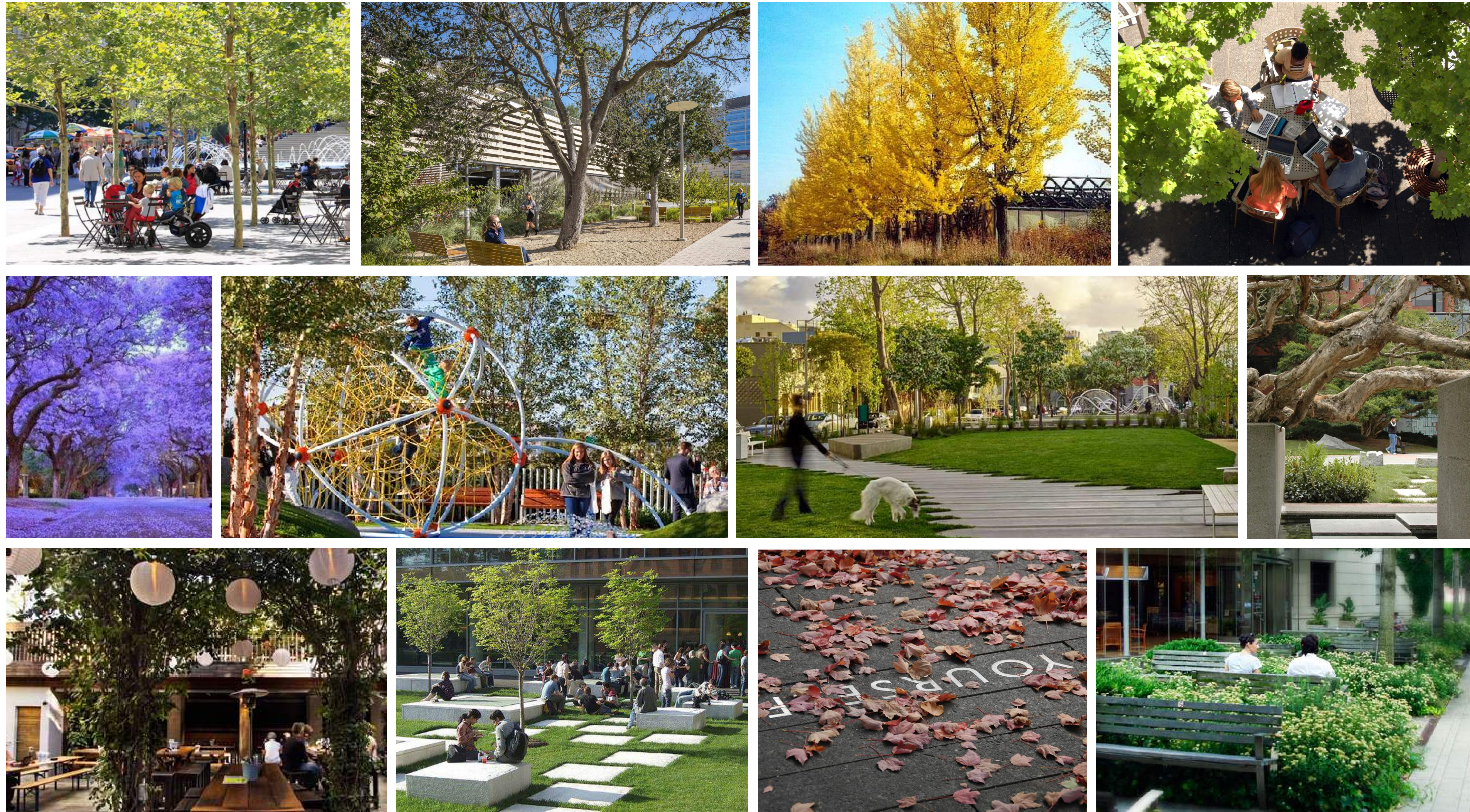
**PROPOSED
ILLUSTRATIVE
LANDSCAPE PLAN**

SHEET NO:

L-101

2/16/2021 4:41:29 PM

Public Open Space Character



WRNS STUDIO

501 SECOND STREET
4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
415.489.2224 TEL
415.358.9100 FAX
WWW.WRNSSTUDIO.COM

gls GLS LANDSCAPE ARCHITECTURE
2677 Mission Street, No. 200
San Francisco, CA 94110-3105
415.285.3614 | glsarch.com

ISSUES	DATE
PLANNING APPLICATION	03/03/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 03/05/2021

SCALE:

SHEET TITLE:

**PUBLIC OPEN SPACE
CHARACTER**

SHEET NO:

L-102

2/22/2021 10:28:51 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

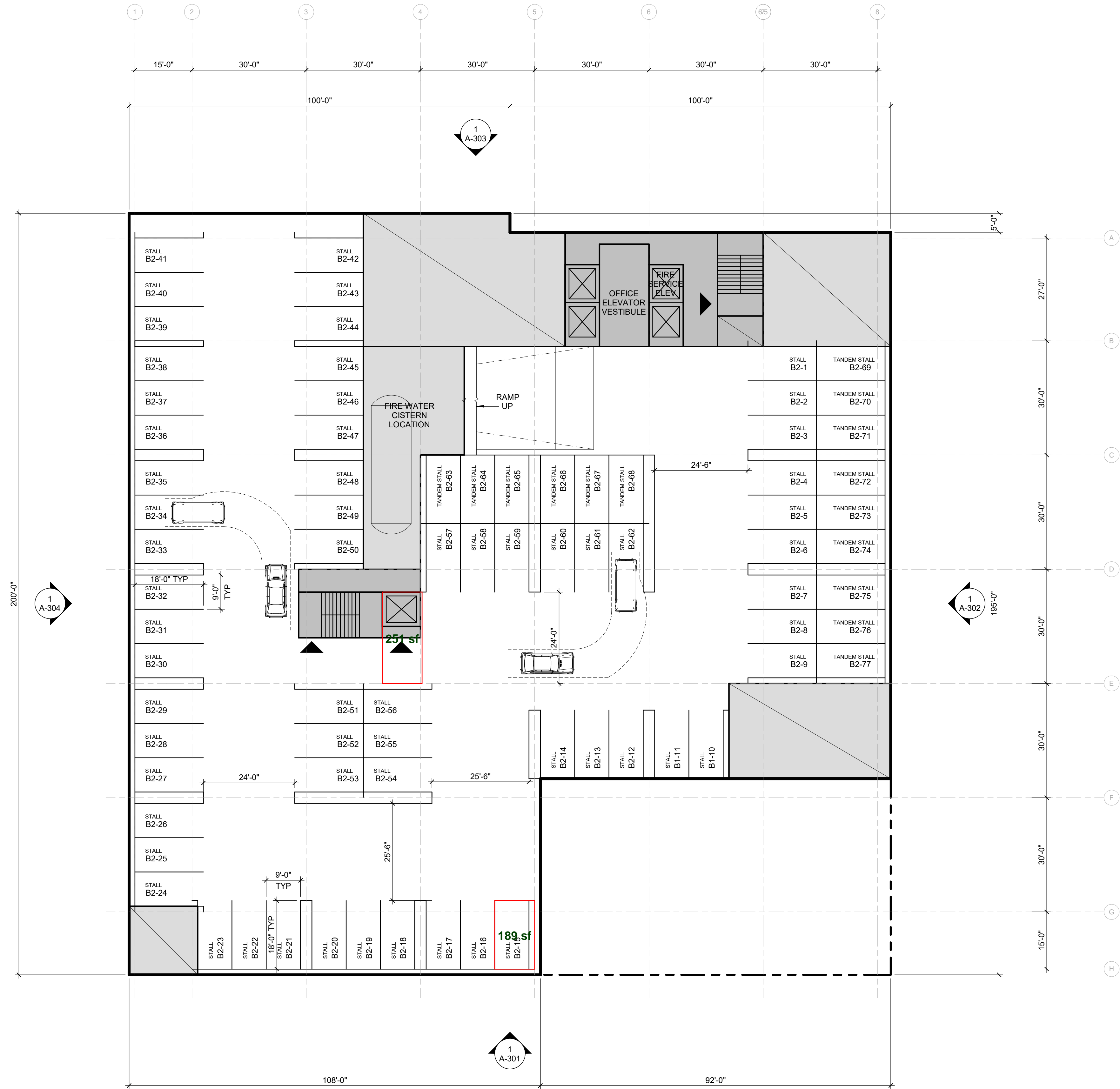
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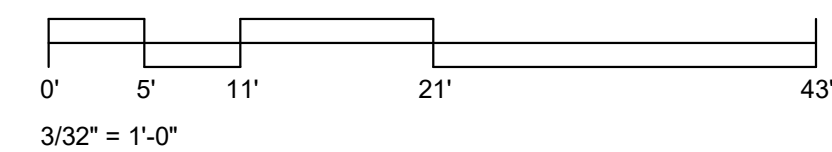
FLOOR PLAN - LEVEL B2

SHEET NO:

A-10B2

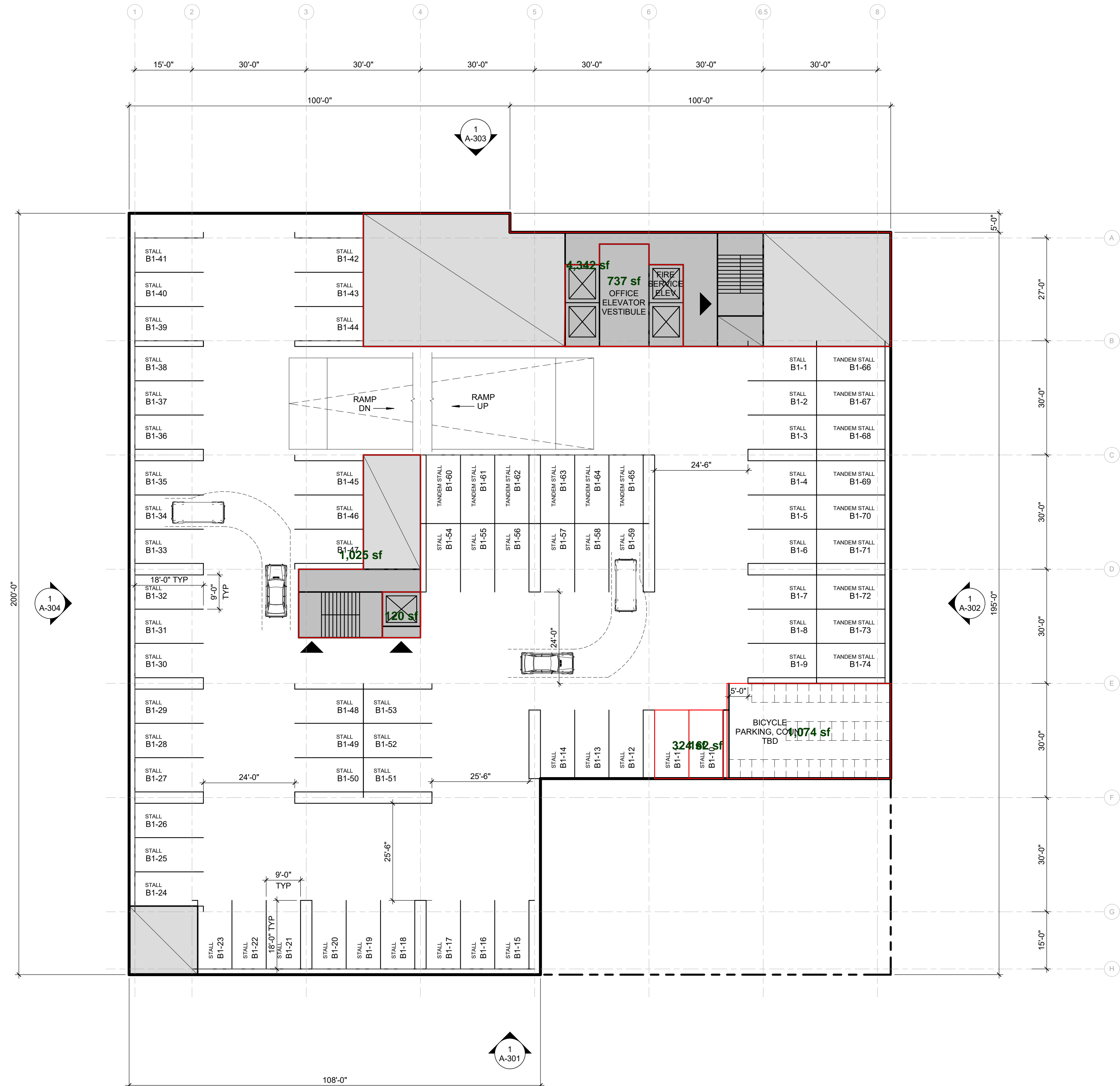





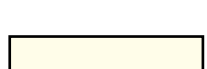

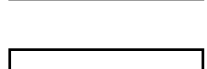

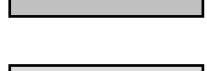
- ENTRY / EXIT
- OFFICE SPACE
- RETAIL SPACE
- TERRACE
- PLANTING
- CIRCULATION
- BUILDING SUPPORT
- MECHANICAL

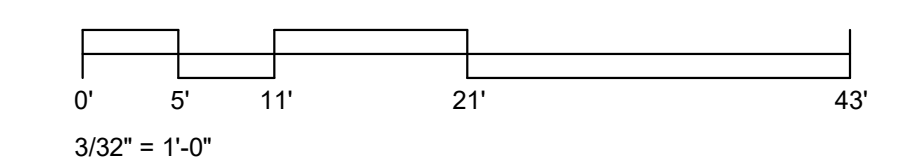


ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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-  ENTRY / EXIT
-  OFFICE SPACE
-  RETAIL SPACE
-  TERRACE
-  PLANTING
-  CIRCULATION
-  BUILDING SUPPORT
-  MECHANICAL



10/24/2021 10:09:29 AM

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: 1/16" = 1'-0"

SHEET TITLE:

FLOOR PLAN - LEVEL B1

SHEET NO:

A-10B1

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

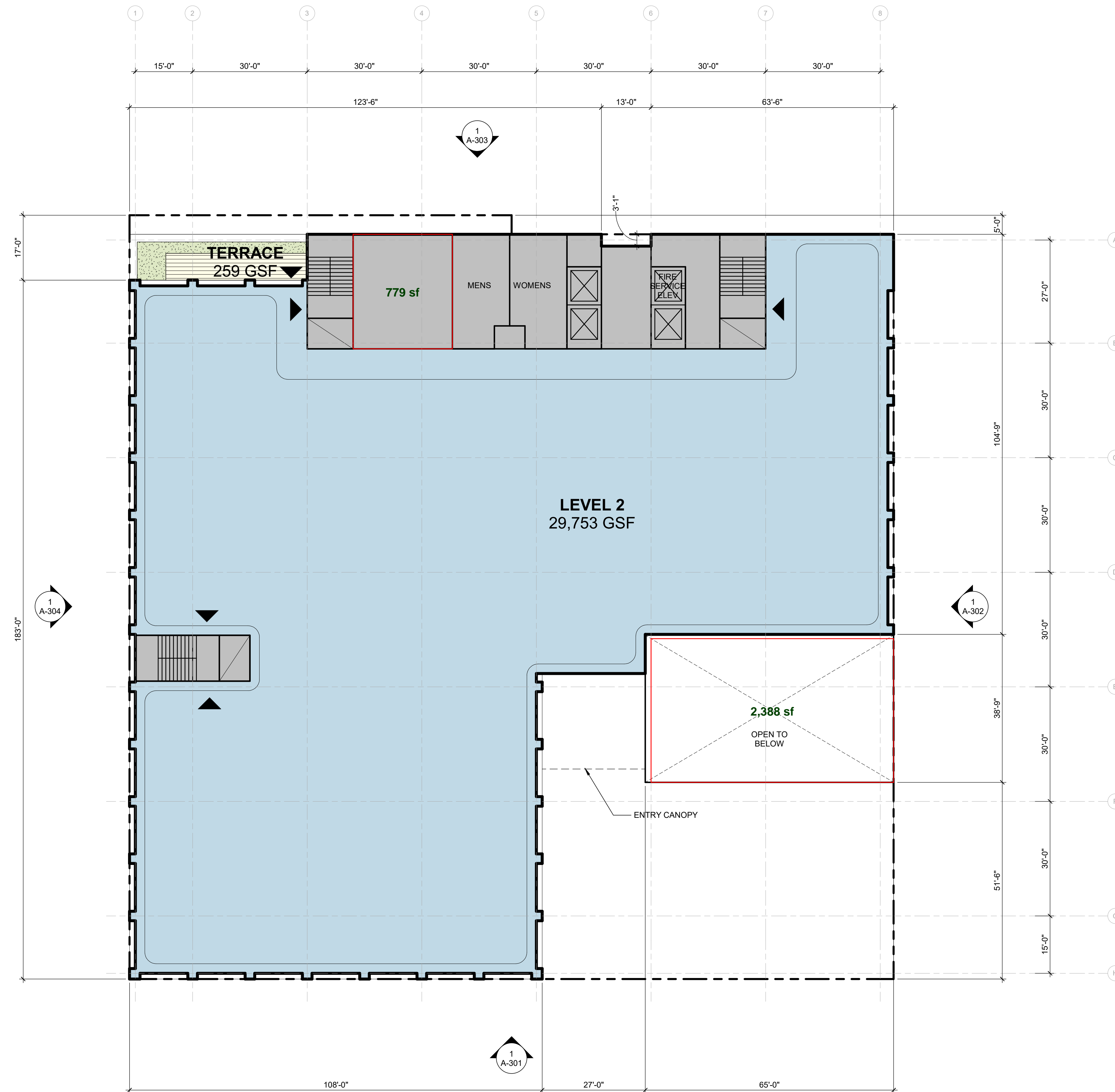
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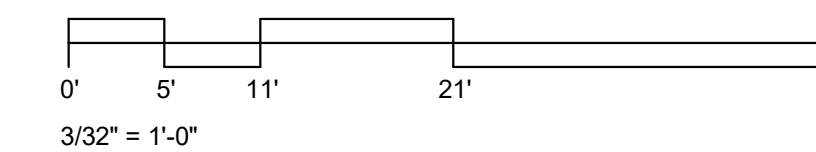
FLOOR PLAN - LEVEL 2

SHEET NO:

A-102

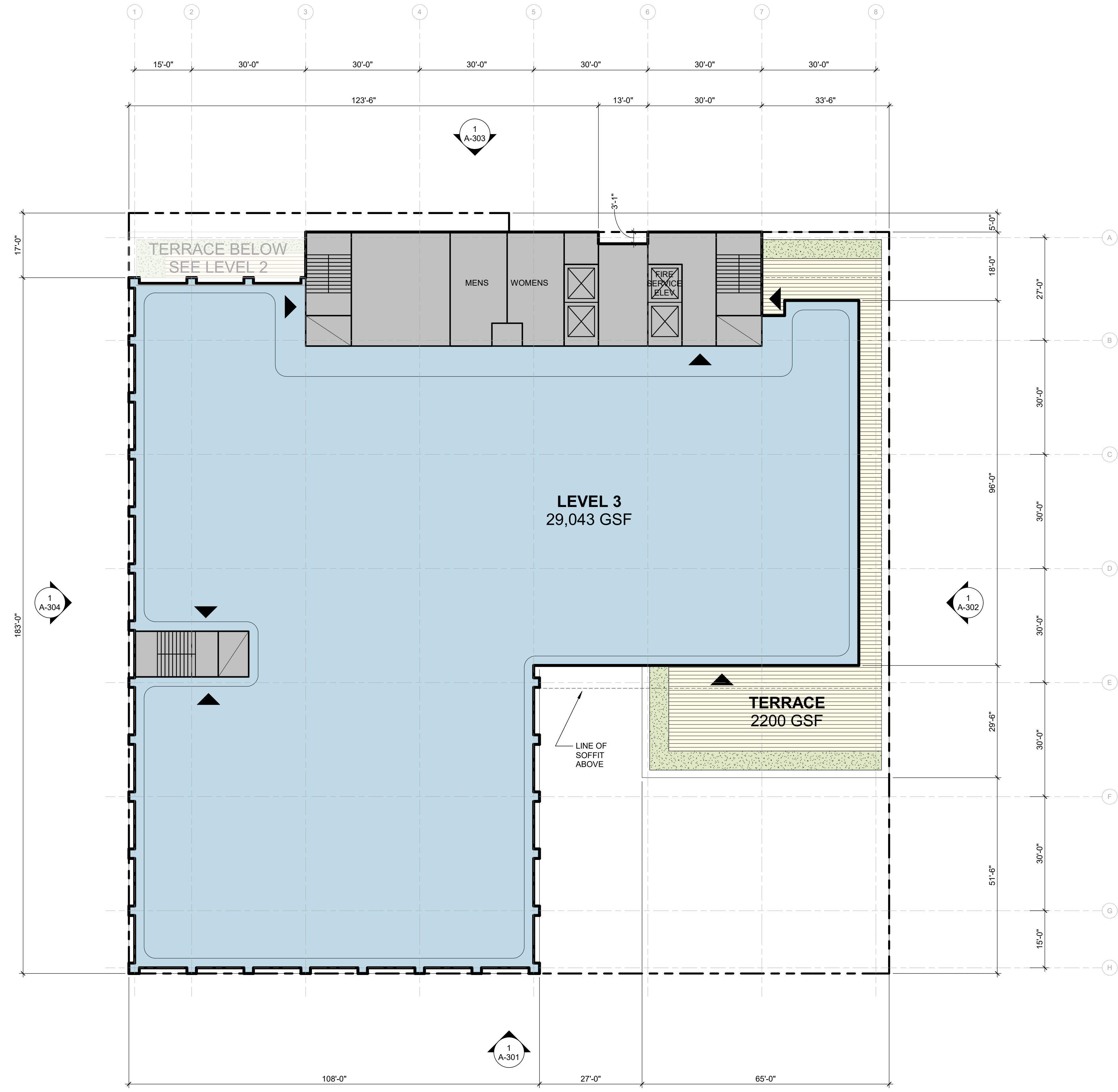


- ENTRY / EXIT
- OFFICE SPACE
- RETAIL SPACE
- TERRACE
- PLANTING
- CIRCULATION
- BUILDING SUPPORT
- MECHANICAL



ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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- OFFICE SPACE
- RETAIL SPACE
- TERRACE
- PLANTING
- CIRCULATION
- BUILDING SUPPORT
- MECHANICAL

2300 BROADWAY
 Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00
 DATE: 10/22/2021

SCALE: 1/16" = 1'-0"

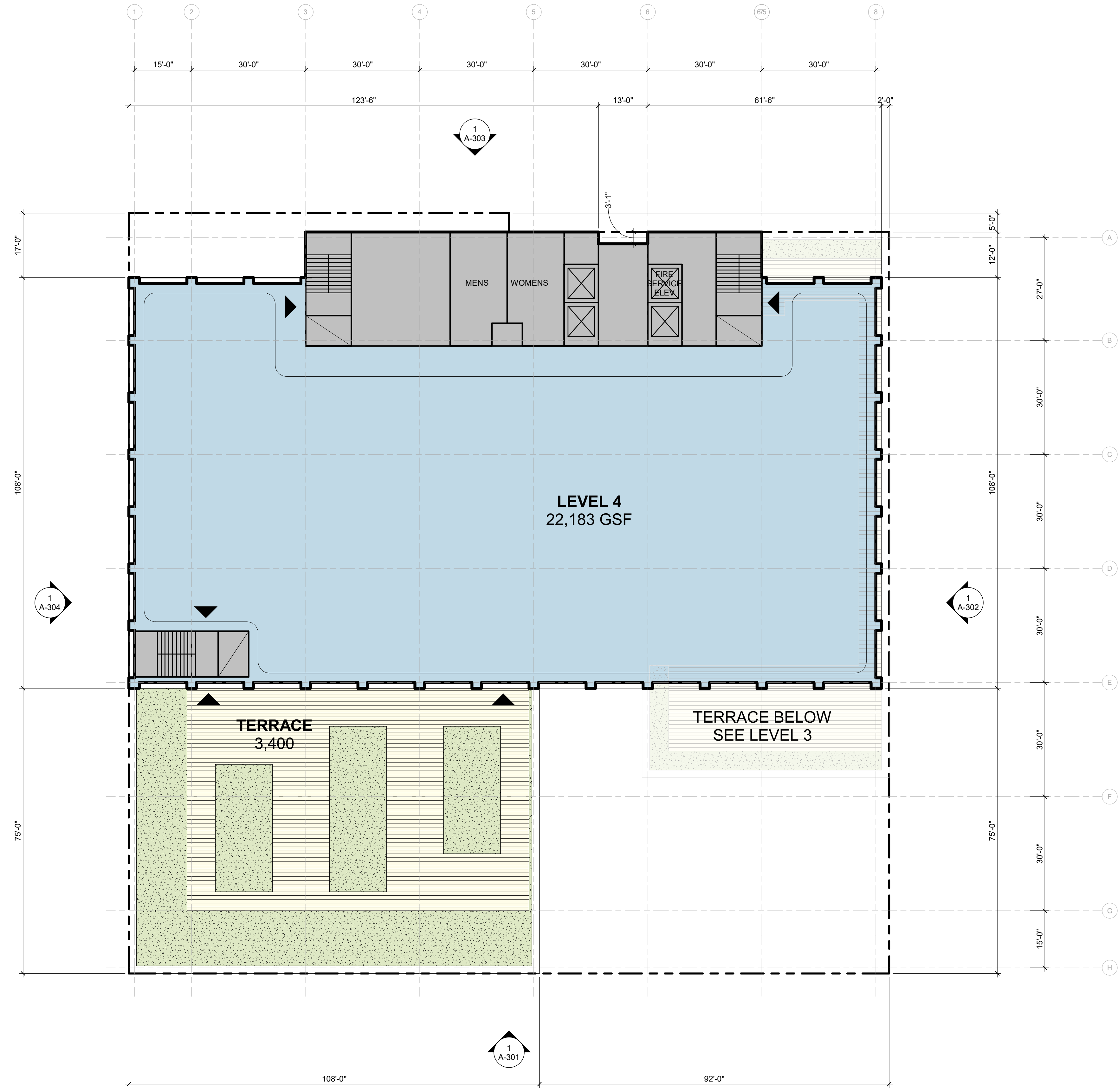
SHEET TITLE:
FLOOR PLAN - LEVEL 3

SHEET NO:
A-103

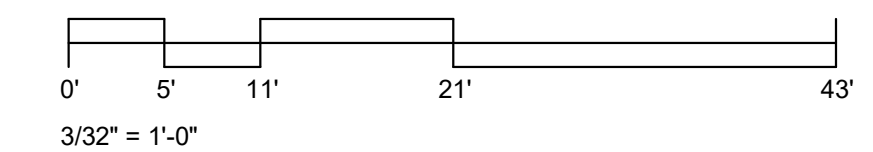
All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer. If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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- ENTRY / EXIT
- OFFICE SPACE
- RETAIL SPACE
- TERRACE
- PLANTING
- CIRCULATION
- BUILDING SUPPORT
- MECHANICAL



10/24/2021 10:41:21 AM

2300 BROADWAY
 Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: 1/16" = 1'-0"

SHEET TITLE:

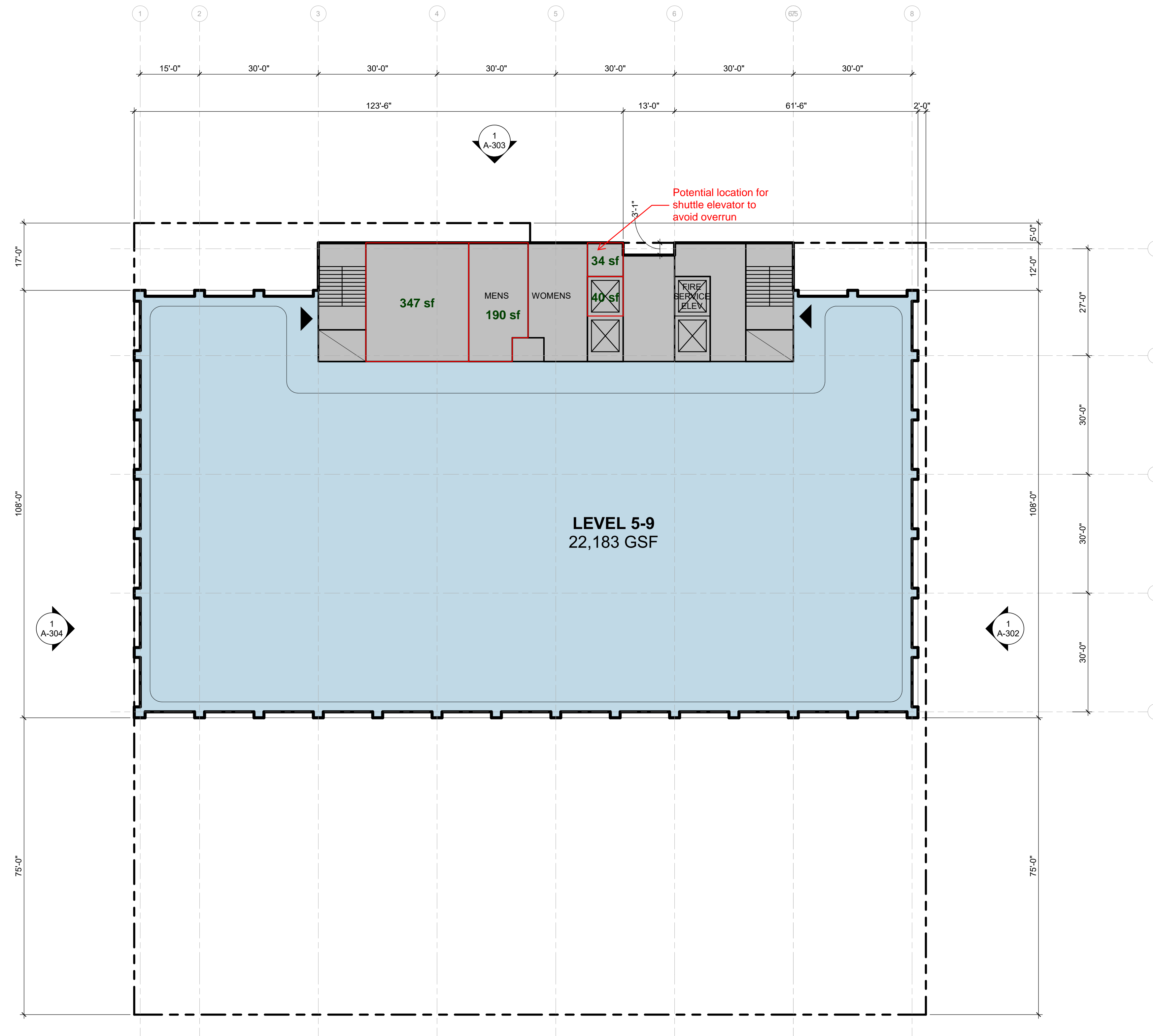
FLOOR PLAN - LEVEL 4

SHEET NO:

A-104

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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- ENTRY / EXIT
- OFFICE SPACE
- RETAIL SPACE
- TERRACE
- PLANTING
- CIRCULATION
- BUILDING SUPPORT
- MECHANICAL

2300 BROADWAY
 Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: 1/16" = 1'-0"

SHEET TITLE:

**FLOOR PLAN - LEVEL 5-9
 (TYP)**

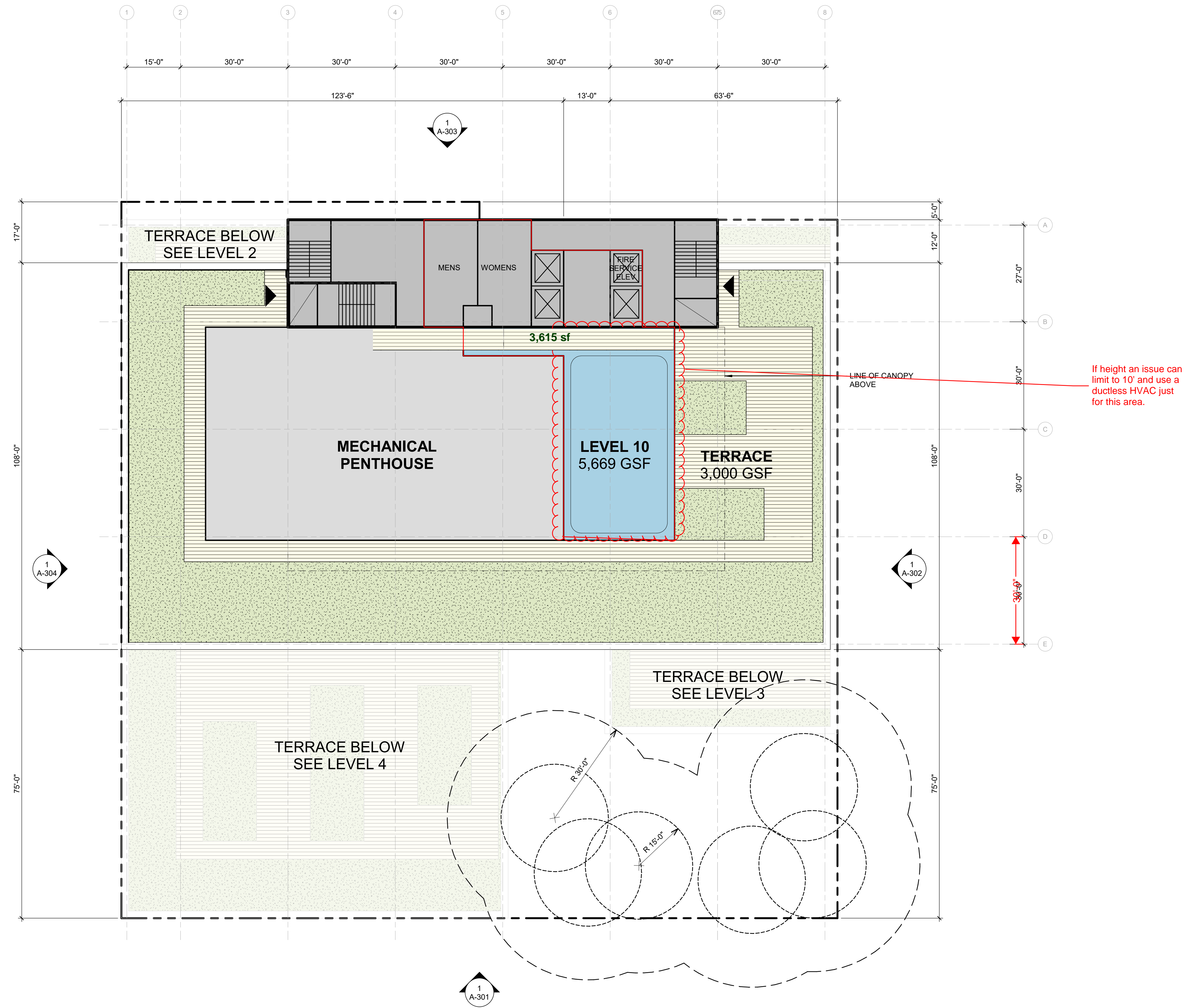
SHEET NO:

A-105

10/24/2021 10:09:32 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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- ENTRY / EXIT
- OFFICE SPACE
- RETAIL SPACE
- TERRACE
- PLANTING
- CIRCULATION
- BUILDING SUPPORT
- MECHANICAL

10/24/2021 10:09:32 AM

2300 BROADWAY
 Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: 1/16" = 1'-0"

SHEET TITLE:

FLOOR PLAN - ROOF

SHEET NO:

A-106

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN



PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: As indicated

SHEET TITLE:

BUILDING ELEVATIONS - SOUTH

SHEET NO:

A-301

GENERAL NOTES

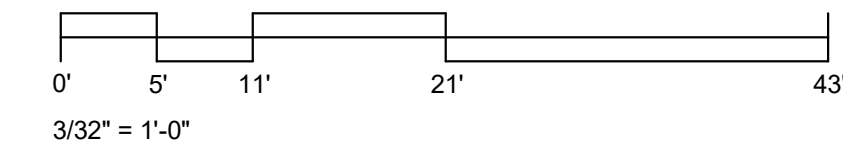
1. REFER TO SHEET A-305 THRU A-307 FOR BUILDING MATERIAL REFERENCE IMAGERY
2. REFER TO SHEET A-310 THRU A-312 FOR SECTIONS
3. SPOT ELEVATIONS USED IN THESE DRAWINGS REPRESENT THE HIGHEST AVERAGE GRADE ALONG THE SOUTH (BROADWAY) ELEVATION
4. SEE C-001 FOR COMPLETE GRADING INFORMATION

BUILDING MATERIALS LEGEND

	BRICK PIERS AND LINTELS		PERFORATED SUNSHADE
	ALUMINUM STOREFRONT		ALUMINUM COLUMN COVERS ALONG HAMILTON
	ANODIZED ALUMINUM CURTAINWALL		STAINLESS STEEL PIN MOUNTED SIGNAGE
	METAL PANEL		ROLL UP SERVICE DOORS

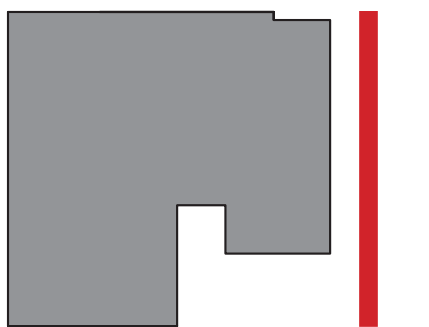
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN



PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: As indicated

SHEET TITLE:

BUILDING ELEVATIONS - EAST


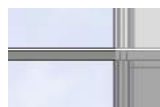


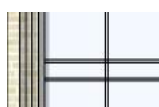


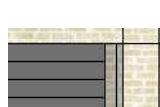
SHEET NO:

A-302

GENERAL NOTES

1. REFER TO SHEET A-305 THRU A-307 FOR BUILDING MATERIAL REFERENCE IMAGERY
2. REFER TO SHEET A-310 THRU A-312 FOR SECTIONS
3. SPOT ELEVATIONS USED IN THESE DRAWINGS REPRESENT THE HIGHEST AVERAGE GRADE ALONG THE SOUTH (BROADWAY) ELEVATION
4. SEE C-001 FOR COMPLETE GRADING INFORMATION

BUILDING MATERIALS LEGEND

	BRICK PIERS AND LINTELS		PERFORATED SUNSHADE
	ALUMINUM STOREFRONT		ALUMINUM COLUMN COVERS ALONG HAMILTON
	ANODIZED ALUMINUM CURTAINWALL		STAINLESS STEEL PIN MOUNTED SIGNAGE
	METAL PANEL		ROLL UP SERVICE DOORS

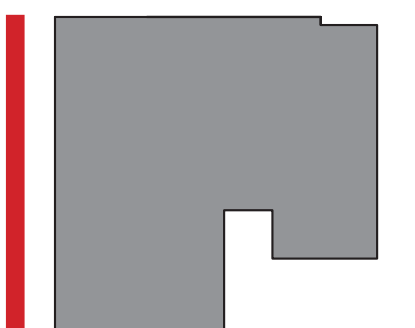
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN



PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE: As indicated

SHEET TITLE:

BUILDING ELEVATIONS - WEST

SHEET NO:

A-304

GENERAL NOTES

1. REFER TO SHEET A-305 THRU A-307 FOR BUILDING MATERIAL REFERENCE IMAGERY
2. REFER TO SHEET A-310 THRU A-312 FOR SECTIONS
3. SPOT ELEVATIONS USED IN THESE DRAWINGS REPRESENT THE HIGHEST AVERAGE GRADE ALONG THE SOUTH (BROADWAY) ELEVATION
4. SEE C-001 FOR COMPLETE GRADING INFORMATION

BUILDING MATERIALS LEGEND

	BRICK PIERS AND LINTELS		PERFORATED SUNSHADE
	ALUMINUM STOREFRONT		ALUMINUM COLUMN COVERS ALONG HAMILTON
	ANODIZED ALUMINUM CURTAINWALL		STAINLESS STEEL PIN MOUNTED SIGNAGE
	METAL PANEL		ROLL UP SERVICE DOORS

MASONRY PRECEDENT



Sequoia Hotel
Redwood City



Diller-Chamberlain Store (726 Main St)
Redwood City



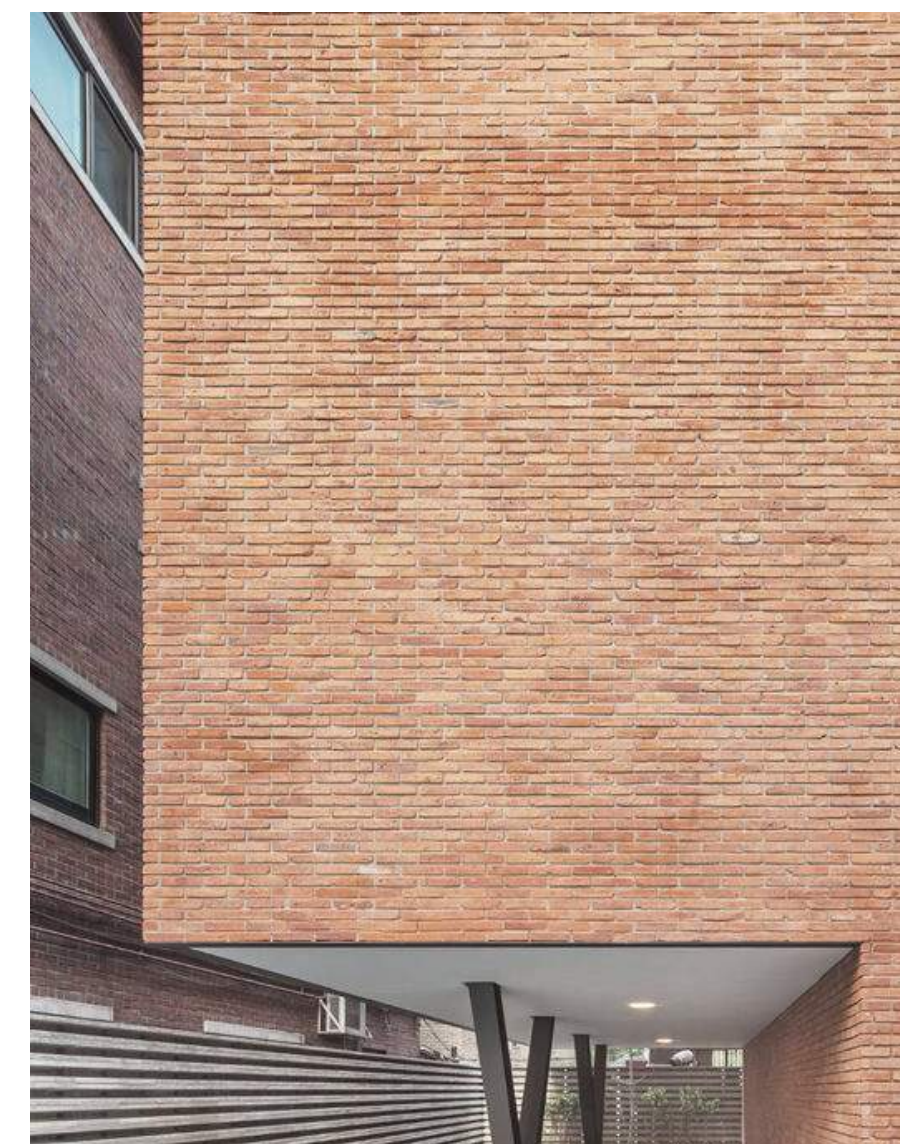
Wahl Building
Redwood City

MASONRY COLOR RANGE

BUFF - TAN



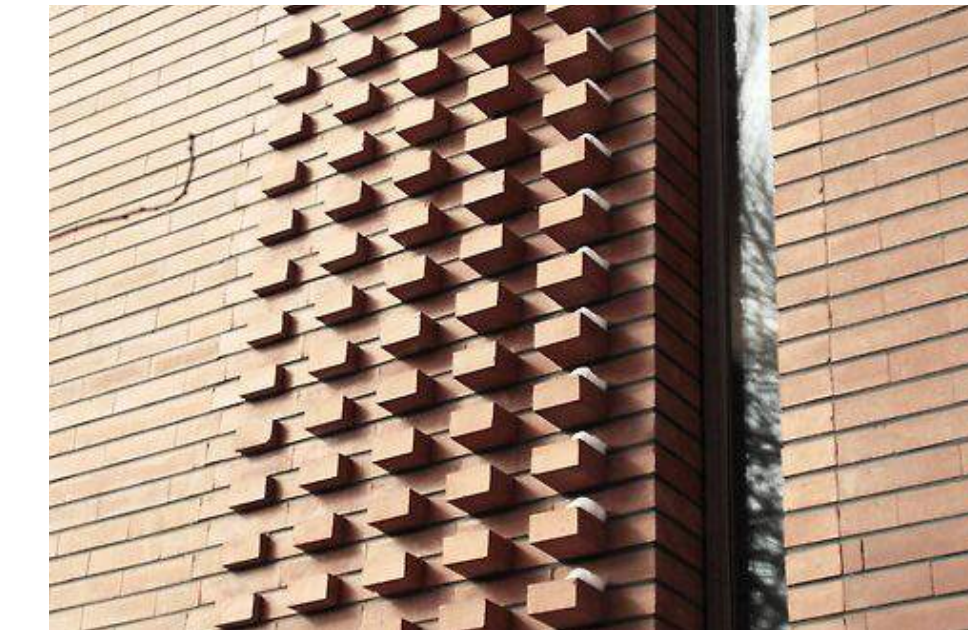
ROSE - TERRACOTTA



GREY - CARUB



MASONRY TEXTURE RANGE



WRNS STUDIO

501 SECOND STREET
4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
415.489.2224 TEL
415.358.9100 FAX
WWW.WRNSSTUDIO.COM

ISSUES DATE
PLANNING APPLICATION 03/03/2021

REVISION LIST DATE

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 03/05/2021

SCALE:

SHEET TITLE:

BUILDING MATERIAL
CONCEPTS

SHEET NO:

A-305

3/1/2021 1:24:08 PM

METALWORK PRECEDENT



San Mateo County History Museum
Redwood City



Sentinel Building
San Francisco



War Memorial Veterans Building
San Francisco

METALWORK RANGE

ZINC



ALUMINUM PANEL



REPETITION PRECEDENT



801 Jefferson
Redwood City



2300 Broadway
Redwood City



Fox Theatre
Redwood City

ISSUES	DATE
PLANNING APPLICATION	03/03/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 03/05/2021

SCALE:

SHEET TITLE:

BUILDING MATERIAL
CONCEPTS

SHEET NO:

STOREFRONT PRECEDENT



WRNSSTUDIO

501 SECOND STREET
4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
415.489.2224 TEL
415.358.9100 FAX
WWW.WRNSSTUDIO.COM

ISSUES DATE
PLANNING APPLICATION 03/03/2021

REVISION LIST DATE

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 03/05/2021

SCALE:

SHEET TITLE:

BUILDING MATERIAL
CONCEPTS

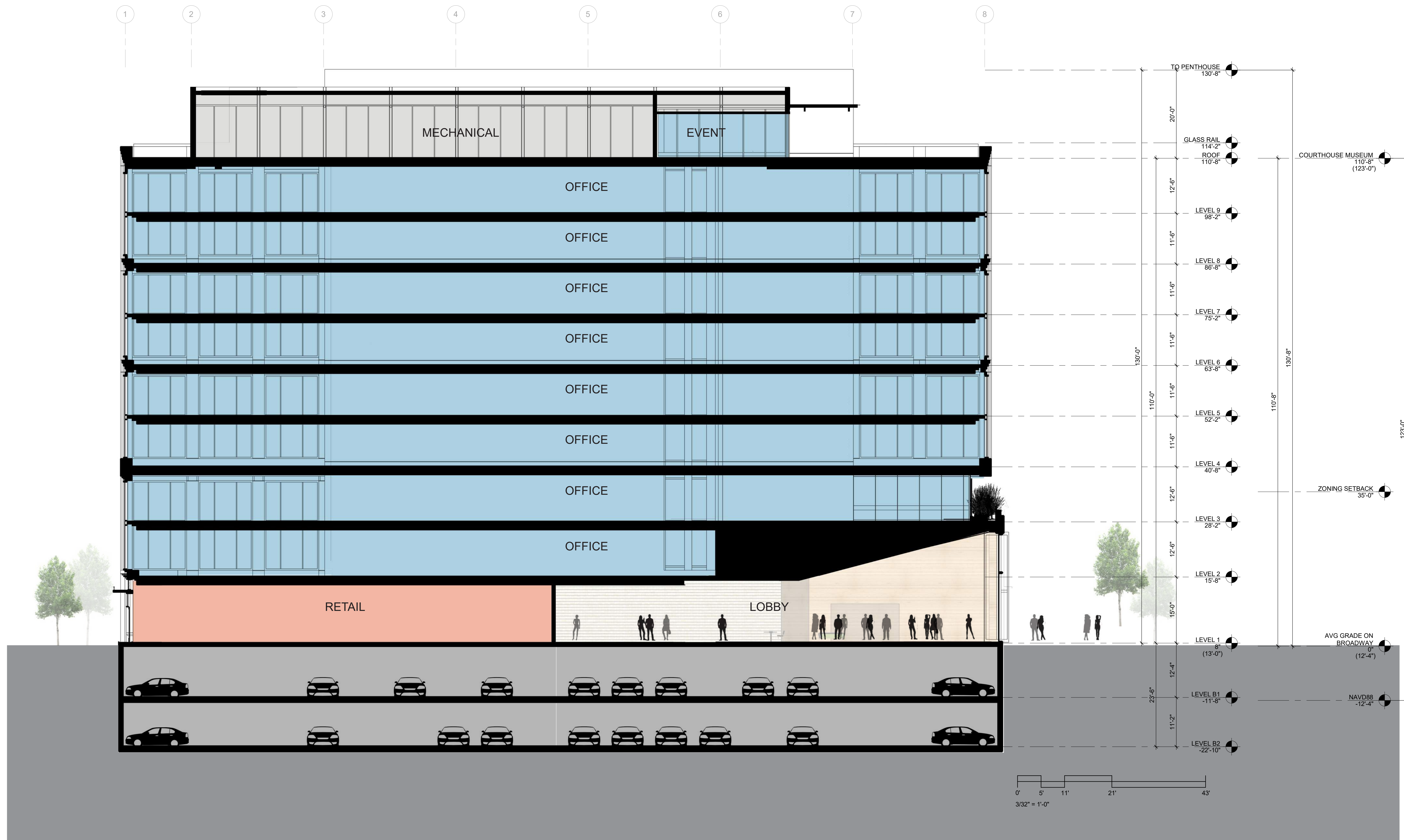
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A-307

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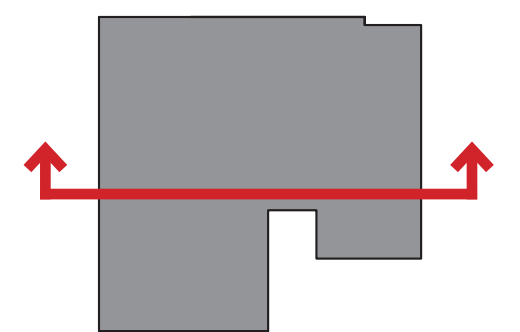
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE



2300 BROADWAY
Redwood City, CA

KEYPLAN



PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

BUILDING SECTION

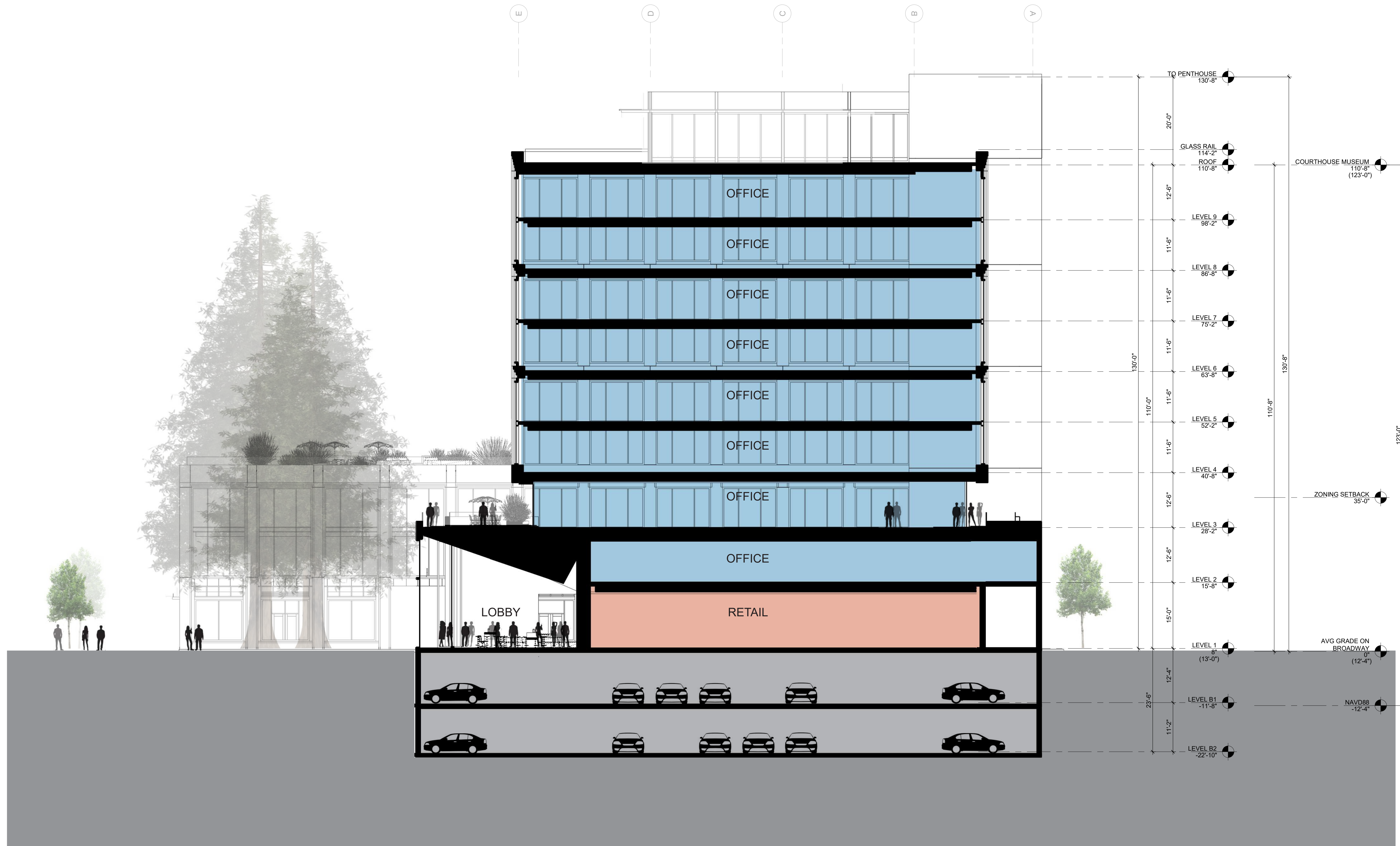
SHEET NO:

A-310

10/24/2021 10:27:40 AM

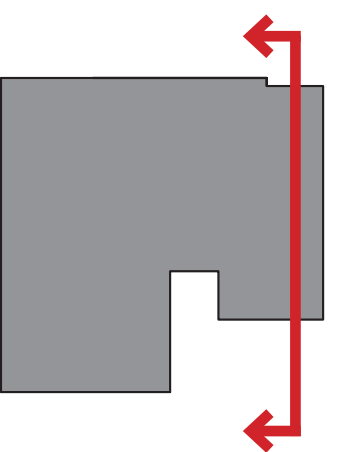
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
 Redwood City, CA

KEYPLAN



PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

BUILDING SECTION

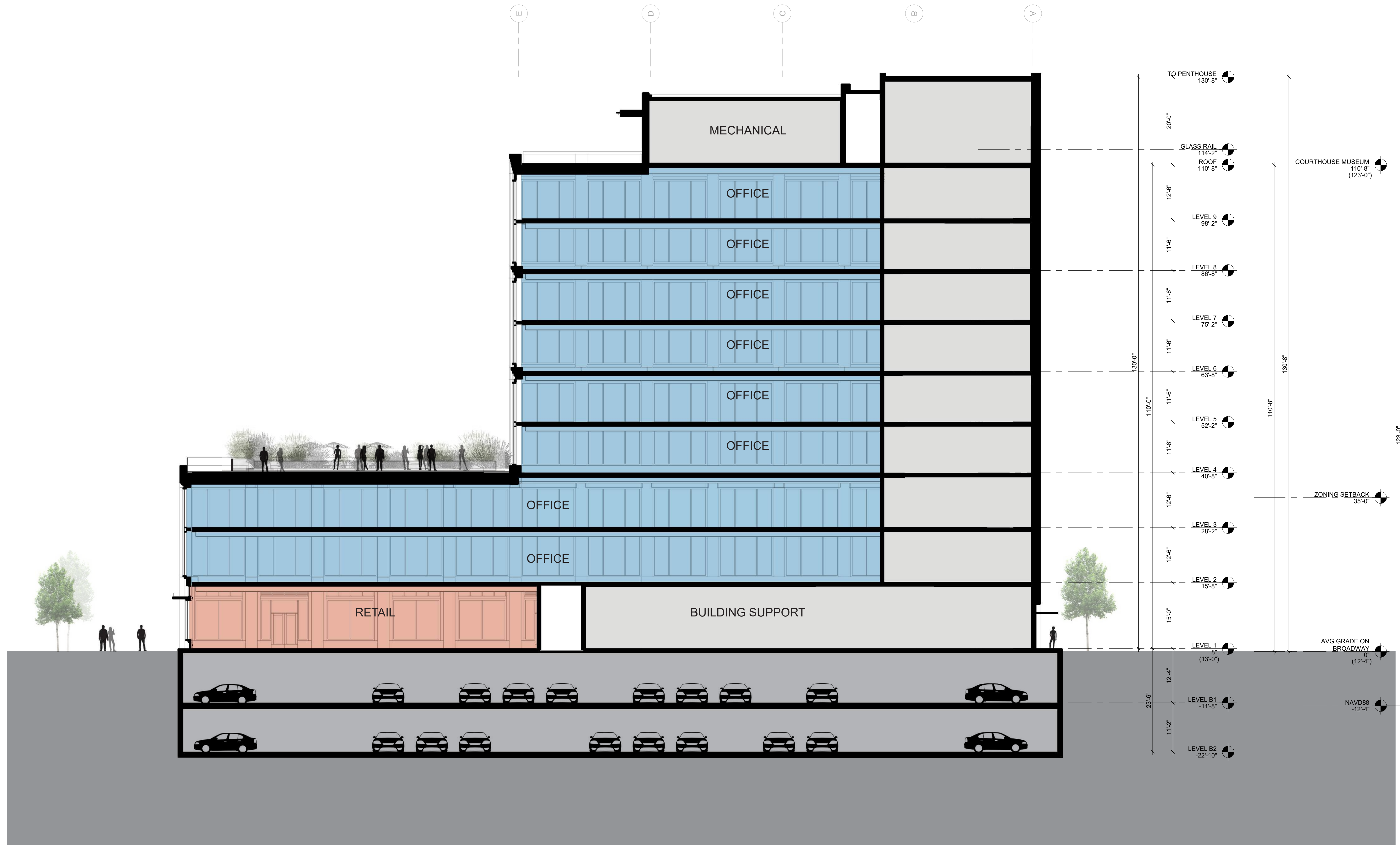
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A-311

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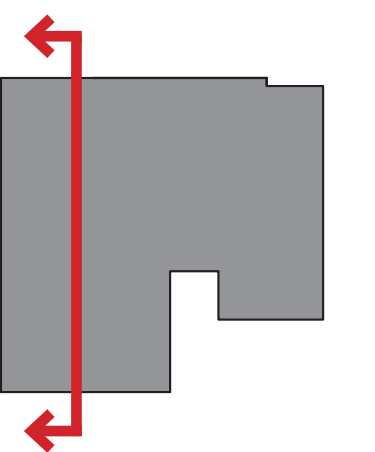
ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
 Redwood City, CA

KEYPLAN



PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

BUILDING SECTION

SHEET NO:

A-312

10/24/2021 10:32:09 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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View of Hamilton Green from Hamilton / Broadway

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT VIEWS

SHEET NO:

A-801

10/24/2021 10:38:40 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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View from Winslow / Broadway

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT VIEWS

SHEET NO:

A-802

10/24/2021 10:38:41 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
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2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT VIEWS

SHEET NO:

A-803

10/24/2021 10:38:41 AM

View along Broadway Street

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
---------------	------



View from south side of Broadway

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT VIEWS

SHEET NO:

A-804

10/24/2021 10:38:41 AM

ISSUES	DATE
PLANNING APPLICATION	03/03/2021
PLANNING APPLICATION #2	10/22/2021

REVISION LIST	DATE
---------------	------



View from the Courthouse Plaza Pavilion

2300 BROADWAY
Redwood City, CA

KEYPLAN

PROJECT NO.: 19046.00

DATE: 10/22/2021

SCALE:

SHEET TITLE:

PROJECT VIEWS

SHEET NO:

A-805

10/24/2021 10:38:41 AM